



## PLANNING COMMISSION STAFF REPORT

<b>File No.</b>	<b>C15-008, CP15-014 and ABC15-010</b>
<b>Applicant:</b>	<b>Armstrong Development Properties, Inc.</b>
<b>Location</b>	<b>1804 Saratoga Avenue</b>
<b>Existing Zoning</b>	<b>CP Commercial Pedestrian</b>
<b>Historic Resource</b>	<b>No</b>
<b>Annexation Date:</b>	<b>June 8, 1956</b>
<b>CEQA:</b>	<b>Mitigated Negative Declaration, to be adopted</b>

### APPLICATION SUMMARY:

The proposed project is located on a 1.48 gross acre site at the southwesterly corner of Saratoga Avenue and Quito Road at 1804 Saratoga Avenue. The applications being considered are:

- File No. C15-008: Conforming Rezoning from the CP Commercial Pedestrian Zoning District to the CN Commercial Neighborhood Zoning District;
- File No. CP15-014: Conditional Use Permit to allow the demolition of three existing commercial buildings totaling 15,960 square feet, the construction of a 14,700-square foot commercial building with a drive-through (CVS Pharmacy) and off-sale of a full range alcohol; and
- File No. ABC15-010: Determination of Public Convenience or Necessity for the off-sale of a full range of alcohol at a retail establishment

### RECOMMENDATION:

Staff recommends that the Planning Commission make a recommendation of **approval** to the City Council for the proposed Conforming Rezoning, Conditional Use Permit, and Determination of Public Convenience or Necessity based upon the facts and findings in this staff report and the attached draft Resolution.

### PROJECT DATA

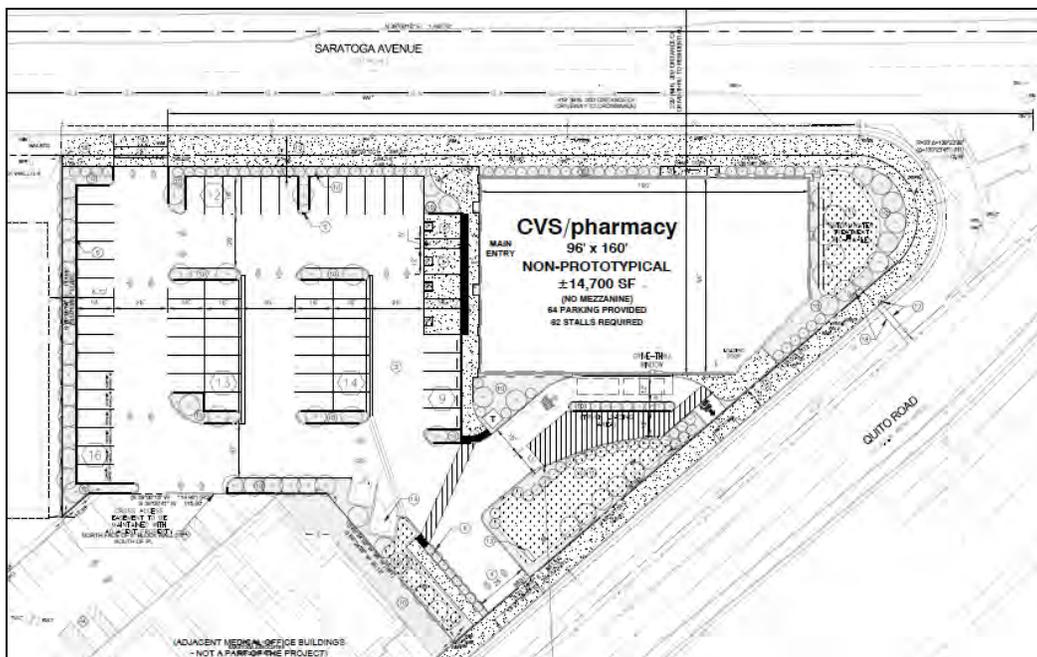
GENERAL PLAN CONSISTENCY			
<b>General Plan Designation</b>	<b>Neighborhood Community/Commercial, Urban Village</b> <input checked="" type="checkbox"/> <b>Consistent</b> <input type="checkbox"/> <b>Inconsistent</b>		
<b>Consistent Policies</b>	<b>IP-1.6, IP-8.2, LU-5.6, VN-1.6, VN-1.7 VN-1.8, CD-2.3, CD-3.4, CD-3.9,</b>		
<b>Inconsistent Policies</b>	<b>LU-5.10</b>		
SURROUNDING USES			
	<b>General Plan Land Use</b>	<b>Zoning</b>	<b>Existing Use</b>
<b>North</b>	Neighborhood/Community Commercial, Regional Commercial	CP Commercial Pedestrian, CG Commercial General	Commercial

<b>South</b>	Neighborhood/Community Commercial	CP Commercial Pedestrian	Medical Offices
<b>East</b>	Regional Commercial, Neighborhood/Community Commercial	CG Commercial General, R-1-8 Single-Family Residential	Commercial
<b>West</b>	City of Saratoga	City of Saratoga	Residential

**PROJECT DESCRIPTION AND SITE LOCATION**

On February 27, 2015, the applicant applied for a Conforming Rezoning to rezone the property from the CP Commercial Pedestrian Zoning District to the CN Commercial Neighborhood Zoning District. The purpose of the rezoning is to allow a drive-through at the site, as drive-throughs are not permitted in the CP Commercial Pedestrian Zoning District. The applicant also filed a Conditional Use Permit (CUP), which would allow the demolition of three existing commercial buildings totaling 15,960 square feet, the construction of a 14,700-square foot commercial building with a drive-through (CVS Pharmacy), and off-sale of alcohol and a Determination of Public Convenience or Necessity (PCN) for the off-sale of alcohol at a retail establishment. In accordance with Section 20.100.140 of the Municipal Code, the applications are being reviewed concurrently.

Access to the site would be provided from one two-way driveway on Saratoga Avenue and one two-way driveway on Saratoga Road. The drive-through would be located on the southeast side of the building, and would accommodate stacking for up to four cars. The drive-through lane would be accessed internally to the site and exit onto Quito Road. Use of the drive-through would be limited to prescription pharmaceutical drop-off and pick-up only. Delivery truck exiting would be limited to Saratoga Avenue by signage and CVS driver education. There is also a condition included in the draft Resolution limiting truck exiting to Saratoga Avenue. Cross-access between the subject site and medical office building to the south would be maintained.



**Figure 1: Proposed Site Plan**

The off-sale of a full-range of alcoholic beverages would consist of an approximately 308-square foot portion of the store (approximately 2% of the total gross floor area). Retail operations at the store would include packaged meats, produce, eggs, and dairy products. The subject application originally proposed 24-hour use; however, this was removed from the scope of the application per the applicant's request based on feedback from the community.



**Figure 2: Aerial View**

The subject site is currently occupied by 15,960 square feet of commercial buildings and a 0.36-gross acre lot. There are commercial uses to the north, south, and east. Residences are located to the west, beyond Saratoga Avenue. The closest residential unit is approximately 100 feet to the northwest from the site, beyond Saratoga Avenue. Refer to Figure 2.

## **ANALYSIS**

The proposed rezoning, CUP, and PCN were analyzed with respect to conformance with: 1) the Envision San Jose 2040 General Plan; 2) the Zoning Ordinance, 3) Required Findings for the Off-Sale of Alcohol and Determination of Public Convenience or Necessity, 4) Council Policy 6-10: Criteria for the Review of Drive-Through Uses, 5) Commercial Design Guidelines; and 6) California Environmental Quality Act (CEQA).

### **Envision San José 2040 General Plan Conformance**

The proposed project site has an Envision San Jose 2040 General Plan Land Use/Transportation Diagram designation of Neighborhood/Community Commercial, see Figure 3. This designation supports a broad range of commercial activity, including commercial uses that serve the communities in neighboring areas, such as neighborhood serving retail and services and commercial/professional office development.

The subject site is also within the Paseo de Saratoga Urban Village, for which an Urban Village plan has not yet been completed. Prior to completion of an Urban Village Plan, the Urban Village General Plan land use designation supports uses consistent with those of the Neighborhood/Community Commercial General Plan designation.

The rezoning is consistent with Neighborhood/Community Commercial land use designation, as the subject site is located on a

Main Street (Saratoga Avenue) within close proximity to expressways and freeways. Such sites are appropriate for more intense commercial uses and the CN rezoning will allow for the redevelopment of the site consistent with the General Plan.

The proposed Conditional Use Permit is consistent with the following General Plan goal and policies:

1. Implementation Policy IP-1.6: Ensure that proposals to rezone and prezone properties conform to the Land Use/Transportation Diagram, and advance Envision General Plan vision, goals, and policies.

*Analysis: The CN Commercial Neighborhood Zoning District is a conforming zoning district for the Envision San Jose 2040 General Plan Land Use/Transportation Diagram's designation of Neighborhood/Community Commercial, as indicated in the Zoning Ordinance. Rezoning the subject property to the CN Zoning District would allow commercial development that is consistent with the surrounding neighborhood in both form and density; thus, supporting the use of the property as envisioned under the General Plan.*

2. Implementation Policy IP-8.2: Use the City's conventional zoning districts, contained in its Zoning Ordinance, to implement the Envision General Plan Land Use / Transportation Diagram. These districts include a range of allowed land uses, development intensities, and standards within major land use categories (residential, commercial and industrial) together with zoning districts for other land uses such as mixed-use and open space. The various ranges of allowed use and development intensity correspond generally to the respective Envision General Plan land use designations, while providing greater detail as to the appropriate land uses and form of development.

*Analysis: Consistent with this policy, the subject rezoning to the CN Commercial Neighborhood Zoning District conforms to the General Plan's land use designation of Neighborhood/Community Commercial.*

3. Land Use Goal LU-5 – Neighborhood Serving Commercial: Locate viable neighborhood-serving commercial uses throughout the City in order to stimulate economic development, create complete neighborhoods, and minimize vehicle miles traveled.

*Analysis: The proposed project maintains and revitalizes an existing commercial site, which would improve upon the current commercial services to the surrounding residential neighborhoods.*



4. Land Use Policy LU-5.6: Encourage and facilitate the upgrading, beautifying, and revitalization of existing strip commercial areas and shopping centers. Minimize the visual impact of large parking lots by locating them away from public streets.

*Analysis: The proposed project upgrades the existing commercial site and adjacent vacant property, thereby retaining and expanding the use of the subject site as a viable business location. The project also incorporates significant landscape enhancements on the perimeter of the site, including street streets and screened parking areas. The architecture of the proposed building is an enhancement to the site, including improved building materials such as brick and glass. Refer to Figure 5.*



**Figure 4: Existing Buildings and Vacant Lot**



**Figure 5: Proposed North Elevation (faces Saratoga Avenue)**

5. Vibrant Neighborhoods Policy VN-1.6: Design new development to contribute to the positive identity of a neighborhood and to encourage pedestrian activity.

Vibrant Neighborhoods Policy VN-1.7: Use new development within neighborhoods to enhance the public realm, provide for direct and convenient pedestrian access, and visually connect to the surrounding neighborhood. As opportunities arise, improve existing development to meet these objectives as well.

Vibrant Neighborhoods Policy VN-1.8: Include site planning, landscaping, and architectural design features within all new retail development, including both small-format and large-format retail uses, to promote expanded pedestrian and bicycle activity on site and greater connectivity for pedestrians and bicyclists between adjacent uses.

*Analysis: As designed, the project site will enhance the pedestrian environment. The new building will be on the corner of Saratoga Avenue and Quito Road, which will provide direct pedestrian access and visually connect to the surrounding neighborhood rather than placing a majority of the parking abutting the public street. In addition, the proposed architecture of the building will be a significant enhancement and will contribute to positively improving the neighborhood's identity.*

6. Community Design Policy CD-2.3: Enhance pedestrian activity by incorporating appropriate design techniques and regulating uses in private developments, particularly in Downtown, Urban Villages, Main Streets, and other locations where appropriate.
- a. Strongly discourage drive-up services and other commercial uses oriented to occupants of vehicles in pedestrian-oriented areas. Uses that serve the vehicle, such as car washes and service stations, may be considered appropriate in these areas when they do not disrupt pedestrian flow, are not concentrated in one area, do not break up the building mass of the streetscape, are consistent with other policies in this Plan, and are compatible with the planned uses of the area.
- b. Create easily identifiable and accessible building entrances located on street frontages or paseos.

*Analysis: Design techniques to enhance pedestrian activity are incorporated into the project. As the site is within an Urban Village, and therefore a pedestrian-oriented area, the proposed building is oriented toward the street and provides minimum building setbacks on both frontages, consistent with the City's Urban Village policies. In this manner, the building will strengthen the streetscape and pedestrian orientation. In addition, the building entrances are accessible from the public street. Lastly, the drive-through use would be limited to prescription drop-off and pick-up.*

7. Community Design Policy CD-3.4: Encourage pedestrian cross-access connections between adjacent properties and require pedestrian and bicycle connections to streets and other public spaces, with particular attention and priority given to providing convenient access to transit facilities. Provide pedestrian and vehicular connections with cross-access easements within and between new and existing developments to encourage walking and minimize interruptions by parking areas and curb cuts.

*Analysis: Cross-access will continue to be provided between the subject property and the medical offices to the south. Bicycle parking will be provided on-site consistent with the Zoning Ordinance. Convenient access is provided to the bus stop to the south of the site on Quito Road.*

8. Community Design Policy CD-4.9: For development subject to design review, ensure the design of new or remodeled structures is consistent or complementary with the surrounding neighborhood fabric (including but not limited to prevalent building scale, building materials, and orientation of structures to the street).

*Analysis: The proposed building is consistent with the surrounding neighborhood in terms of building materials and orientation of nearby buildings to the street. In addition, the proposed building location matches the setbacks of the commercial buildings to the south. The proposed building was designed to fit the existing neighborhood and provides elements of traditional commercial retail design, in terms of the materials, single-story scale, large storefront windows, and awnings.*

9. Land Use Policy-5.10: In the review of new locations for the off-sale of alcohol, give preference to establishments that offer a full range of food choices including fresh fruit, vegetables, and meat.

*Analysis: The proposed pharmacy and retail store with alcohol sales will provide a range of services to the surrounding neighborhood. As noted above, the off-sale of a full-range of alcoholic beverages would consist of an approximately 308-square foot portion of the store (approximately 2% of the total gross floor area). Although not a grocery store, retail operations at the store would include 298 square feet of grocery products, with 36 square feet dedicated to fresh food, including packaged meats, eggs, and dairy products (milk, ice cream,*

*cheese). The proposed project is not fully consistent with this policy, as no produce will be sold at the establishment. However, the establishment's alcohol license will be transferred from another nearby CVS and the redevelopment of the site will necessitate the demolition of an existing liquor store (Saratoga Bottle Shop) currently located on the site. There will be no net increase in the number of off-sale of alcohol establishments as a result of the subject project. In addition, a permit condition is included in the draft resolution requiring that alcohol at the site be served in association with a minimum fresh food square footage of 36 square feet.*

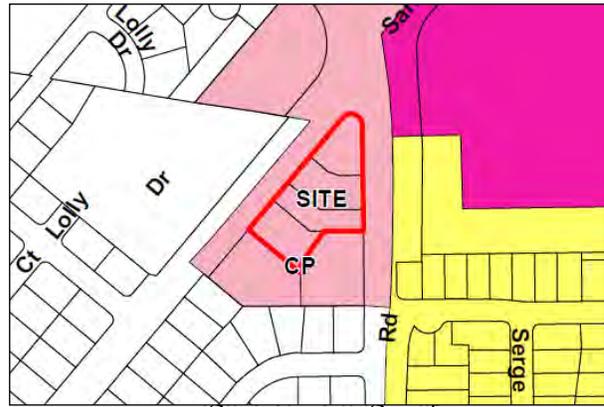
## Zoning Ordinance Conformance

### Land Use

The proposed CN Commercial Neighborhood Zoning District requires a CUP for drive-through uses and the off-sale of alcoholic beverages per Section 20.50.100 of the Zoning Ordinance.

### Setbacks and Height

The proposed building is consistent with the required minimum 10-foot front setback of the CN Commercial Neighborhood Zoning District in that the building is setback 10 feet from Saratoga Avenue and Quito Road. In addition, the maximum height in the CN Commercial Neighborhood Zoning District is 50 feet. The proposed building is a maximum of 30 feet and eight inches in height.



### Parking

Parking for retail uses is required at a rate of one parking space per 200 square feet of floor area. Based on 14,700 gross square feet of building area, 63 parking spaces are required. A total of 64 parking spaces are proposed.

## Required Findings for Off-Sale of Alcohol

A Conditional Use Permit may be issued pursuant to the applicable provisions of the Zoning Ordinance for the off-sale of any alcoholic beverages only if the decision-making body first makes the following three findings, if applicable, to the off-sale of alcoholic beverages:

1. For such use at a location closer than 500 feet from any other use involving the off-sale of alcoholic beverages, situate either within or outside the City, that the proposed location of the off-sale of alcoholic beverages use would not result in a total of more than four establishments that provide alcoholic beverages for off-site consumption within a one-thousand 1,000 foot radius from the proposed location.

*Analysis: There is one other use involving the off-sale of alcoholic beverages within a 500 foot radius of the proposed site (Lucky Stores). The other use shown on the map located within 150 feet (Saratoga Bottle Shop) is currently located on the project site and will be demolished as part of this application. There are no other uses within a 1,000 foot radius of the site, and this site will only be the second off-sale of alcoholic beverages location within 1,000 feet. Therefore, this finding can be made.*

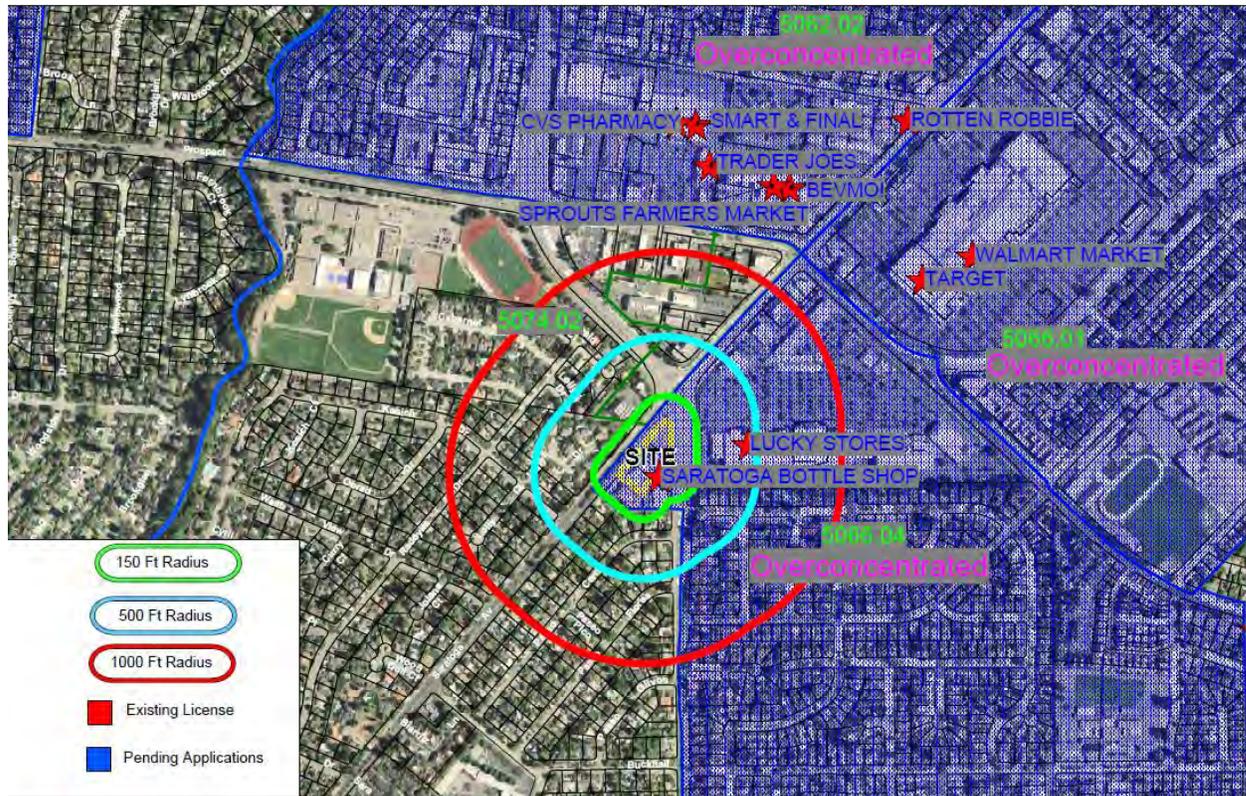


Figure 7: Nearby Alcohol Sales

2. For such use at a location closer than 500 feet from any other use involving the off-sale of alcoholic beverages, situate either within or outside the City, where the proposed location of the off-sale of alcoholic beverages use would result in a total of more than four establishments that provide alcoholic beverages for off-site consumption within a 1,000 foot radius from the proposed location, that the resulting excess concentration of such uses will not:
  - a. Adversely affect the peace, health, safety, morals, or welfare of persons residing or working in the surrounding area; or
  - b. Impair the utility or value of property of other persons located in the vicinity of the area; or
  - c. Be detrimental to public health, safety or general welfare.

*Analysis: As stated above, the proposed use will not result in more than four establishments that provide alcoholic beverages for off-site consumption within a 1,000 foot radius of the proposed location. Therefore, this finding is **not applicable**.*

3. For such a use at a location closer than 500 feet from any child care center, public park, social service agency, residential care facility, residential service facility, elementary school, secondary school, college or university, or closer than 150 feet from any residentially zoned property, that the building in which the proposed use is to be located is situated and oriented in such a manner that would not adversely affect such residential, child care center, public park, social service agency, residential care facility, residential service facility and/or school use.

*Analysis: The proposed site is not located closer than 500 feet from any child care center, social service agency, residential care facility, residential service facility, elementary school, secondary school, or college or university. The project site is within 150 feet from a residentially zoned property, located beyond Saratoga Avenue. However, as noted above, there is an existing full-range alcohol sales establishment on the site that the subject project would replace. The proposal represents an improvement to the configuration of the site in that it would replace a completely full-range alcohol sales establishment, as well as provide other retail offerings, and would be oriented away from residential uses. Therefore, this finding **can** be made.*

### **Requirements for Determination of Public Convenience or Necessity**

Under California Business and Professions Code Sections 23958 and 23958.4, the Department of Alcohol Beverage Control (ABC) must deny an application for a liquor license “if issuance of that license would tend to create a law enforcement problem, or if the issuance would result in or add to an undue concentration of liquor licenses in the area,” unless the City determines that the public convenience or necessity would be served by the issuance of the license (Determination of Public Convenience or Necessity). An “undue concentration” is defined as follows:

1. The premises of the proposed license are located in an area that has 20 percent greater number of reported crimes than the average number of reported crimes for the City as a whole, or
2. The premises of the proposed license are located in a census tract where the ratio of existing retail off-sale licenses to population in the census tract exceeds the ratio in the County as a whole.

The project site is located within a census tract where the ratio of existing retail off-sale license to population in the census tract exceeds the ratio in the County as a whole. Therefore, for the ABC Department to be able to issue a license for this off-sale use, the City must grant a Determination of Public Convenience or Necessity. The analysis of the proposal is based on the required findings identified in Title 6 of the San José Municipal Code.

Chapter 6.84 of Title 6 identifies the process and findings related specifically to the off-sale of alcohol and specifies that the Planning Commission may issue a PCN only after first making the specified factual findings identified below:

1. The proposed use is not located within a Strong Neighborhoods Initiative or Neighborhood Revitalization area or other area designated by the City for targeted neighborhood enhancement services or programs, or located within an area in which the Chief of Police has determined that the proposed use: (a) would be detrimental to the public health, safety, or welfare of persons located in the area, or (b) would increase the severity of existing law enforcement or public nuisance problems in the area.

*Analysis: The proposed use is not located within a Strong Neighborhoods Initiative (SNI) area. In addition, the Police Department is neutral to the issuance of the Conditional Use Permit, as the reported crime statistics are not over the 20 percent crime index. The Police Department memorandum is attached. The Planning Commission **can** make this finding.*

2. The proposed use would not lead to the grouping of more than four off-sale uses within a one thousand-foot radius from the proposed use.

*Analysis: There is only one other off-sale use within a 1,000 foot radius of the site, and this site will only be the second off-sale of alcoholic beverages location within 1,000 feet, replacing an existing establishment on the subject site. Therefore, this finding **can** be made.*

3. The proposed use would not be located within 500 feet of a school, day care center, public park, social services agency, or residential care or service facility, or within 150 feet of a residence.

*Analysis: The proposed use is not located within 500 feet of a school, day care center, social services agency, or residential care or service facility. However, the site is within 150 feet of a residence. Therefore, this finding **cannot** be made.*

4. Alcohol sales would not represent a majority of the proposed use.

*Analysis: Approximately 2% percent of the total floor area is proposed to be used for the sale of alcohol for off-site consumption. Accordingly, the off-sale use represents an ancillary and incidental component to the primary pharmacy and retail use and does not represent a majority of the overall use. Therefore, this finding **can** be made.*

5. At least one of the following additional findings must be made, if the Planning Commission is able to make all of the four findings enumerated above. The Planning Commission must be able to find that:

- a. The census tract in which the proposed outlet for the off-sale of alcoholic beverages is located is unusually configured and the proposed outlet would act as a convenience to an underserved portion of the community without presenting a significant impact on public health or safety; or
- b. The proposed outlet for the off-sale of alcoholic beverages would enhance or facilitate the vitality of an existing commercial area without presenting a significant impact on public health or safety; or
- c. The census tract in which the proposed outlet is located has a low population density in relation to other census tracts in the city, and the proposed outlet would not contribute to an over-concentration in the absolute numbers of outlets for the off-sale of alcoholic beverages in the area; or
- d. The proposed off-sale of alcoholic beverages is incidental and appurtenant to a larger retail use and provides for a more complete and convenient shopping experience.

If however, the Planning Commission cannot make one or more of the first four findings listed above, then the Planning Commission shall make a recommendation to the City Council as to whether the Council should make a determination for the proposed use.

*Analysis: Given the above-stated analysis, the third finding for the PCN cannot be made by the Planning Commission for the proposed off-sale of alcohol because the project site is within 150 feet of a residentially zoned property; however, the Commission can make three of the four findings. Moreover, the Commission can make findings 5.b and 5.d of the additional findings for a PCN determination. The majority of the site will be used as a pharmacy and retail store, and the sale of alcohol is incidental to the overall use of the site.*

*Therefore, City Council approval is required for the proposed use. As such, the City Council may issue a determination in connection with an application for a license from the California Department of Alcoholic Beverage Control for the off-premises sale of alcoholic beverages where it can make a determination that not all of the required findings set forth above can be made, and when the Council identifies and finds that a significant and overriding public benefit or benefits will be provided by the proposed use. The Council can identify and find that significant and overriding public benefit will be provided by the proposed use.*

**Council Policy 6-10: Criteria for the Review of Drive-Through Uses**

The City Council Policy, Criteria for the Review of Drive-Through Uses, is intended to provide guidelines for the development of establishments with drive-through facilities within the City of San José.

**1. Traffic.**

- a. Primary ingress and egress to drive-through type use parking lots should be from at least a four-lane major street.
- b. The drive-through stacking lane shall be situated so that any overflow from the stacking lane shall not spill out onto public streets or major aisles of any parking lot. Overflow capacity shall be 50 percent of required stacking for overflow restricted to the parking lot and 100 percent of required stacking if the overflow is directed to the street.
- c. No ingress and egress points shall conflict with turning movements of street intersections.
- d. No drive-through use shall be approved with ingress or egress driveways within 300 feet of a signalized intersection operating at a Level of Service D, E, or F unless a traffic analysis demonstrates, to the satisfaction of the Director of Public Works, that vehicles entering or leaving said use will not impair the efficiency or operation of the intersection.
- e. The drive-through stacking lane shall be separated physically from the user's parking lot and shall have a capacity of: Restaurants—8 cars per lane;
- f. No pedestrian crossing of the drive-through lane shall be allowed.
- g. Proposed drive-through uses at or near signalized intersections may compound existing traffic congestion and make it intolerable even if the intersection meets the Transportation LOS Policy. In these situations proposed drive-through uses should be discouraged.

*Analysis: The project conforms to these guidelines in that the policy recommends that primary ingress and egress for a drive-through should be from a four lane major street; both Saratoga Avenue and Quito Road are four lanes. Overflow stacking will be within the parking lot and the site access driveways do not conflict with adjacent intersection or internal circulation of the parking lot. The Public Works Department concluded that the project is in conformance with the City's Transportation Level of Service Policy (Council Policy 5-3). Stacking meets the requirement of the policy, in that stacking for four cars is provided in the drive-through lane. The site plan is designed to prohibit crossing of the drive-through lane by pedestrians.*

**2. Noise.**

- a. Drive-through speakers shall not be audible from adjacent residentially used, zoned, or General Planned properties.
- b. Drive-through speakers shall not be used when the drive-through lane abuts residentially used, zoned, or General Planned Property.
- c. Use of sound attenuation walls and landscaping shall be encouraged.

*Analysis: The closest residences to the drive-through lane are 229 feet to the west beyond the proposed building and approximately 240 feet to the east of the site, beyond a commercial building and associated parking lot. Adjacent properties are not used, zoned, or designated in the General Plan for residential uses.*

### 3. Hours of Operation.

- a. No drive-through portion of land use shall operate after the hour of 10:00 p.m. when adjacent to residentially used, zoned, or General Planned properties.

*Analysis: As stated above, there are no residentially used, zoned, or General Planned properties directly abutting the subject site. The project proposes to operate the drive-through from 6:00 a.m. to midnight.*

### 4. Emission Control.

- a. An east-west orientation of drive-through lanes is discouraged, especially on the south side of main buildings.
- b. "Tunneling" will be deemed to occur where adjacent buildings are within thirty (30) feet of each other, or where roof/wall structures enclose a space less than thirty (30) feet. Such situations are discouraged unless air quality analyses performed by the applicant shows that unusual pollutant concentrations will not occur.
- c. Applicants shall take positive steps to protect employees of the drive-through facility from emissions caused by idling cars.
- d. Drive-through lanes shall not be located adjacent to patios and other pedestrian use areas, other than walkways.
- e. Drive-through use stacking lanes are discouraged in close proximity to residential uses, existing or planned.

*Analysis: The drive-through is oriented north to south. There are no other buildings within 30 feet, and the drive-through is not adjacent to any pedestrian use area or in close proximity to residential uses.*

### 5. Urban Design.

- a. The architecture of drive-through uses shall be compatible and harmonize with that of the shopping center motif or immediate neighborhood in terms of building color, materials, mass, scale, and form. Standardized, "corporate" building designs shall be discouraged.
- b. Drive-through lanes shall be suffered from adjacent properties by means of heavy landscaping, and sound attenuating uses where appropriate and necessary.

*Analysis: The architecture of the proposed building is a significant improvement to the existing site and avoids corporate architecture by introducing architectural elements unique to this franchise, including orienting the building towards the street and utilizing brick materials. The mass and scale are consistent with surrounding buildings that are also one-story. Significant landscaping improvements are provided, particularly along the street frontages. Street trees will also be planted. The proposed building was designed to fit the existing neighborhood and provides elements of traditional commercial retail design, in terms of the materials, single-story scale, large storefront windows, and awnings.*

### 6. Lighting.

- a. Reference is made to Section 20.12.200 of the Zoning Ordinance. 20.12.200:

Lighting. Any and all lighting facilities hereafter erected, constructed, or used for or in connection with any off-street parking spaces located in any residential district or adjacent to any residential district shall be so arranged and shielded that light will be reflected away from lands located in such residential district, and so that there will be no glare which will cause unreasonable annoyance to occupants of properties in such residential district, or otherwise interfere with the public health, safety, or welfare.

*Analysis: The proposed lighting is in conformance with the City's Interim Lighting Policy Broad-spectrum Lighting (LED) for Private Development, as LED lighting that is consistent with the specification of this policy are proposed. No lighting impacts to nearby residential uses are anticipated in that all the proposed lighting is fully shielded.*

#### 7. Location.

- a. Drive-through uses shall be located 200 feet or more from immediately adjacent or directly opposite residentially used, zoned, or General Planned properties.
- b. Drive-through facilities are discouraged in the Downtown Core Area (bounded by Julian Street, Fourth Street, Freeway 280, and Future Freeway 87).
- c. Buildings with drive-through facilities shall be located with a minimum separation of 500 feet from any structure containing a drive-through facility.

*Analysis: The proposed use is not located within 200 feet of a residence or 500 feet of another drive-through use, and is not within the Downtown Core Area.*

### **Commercial Design Guidelines**

The Commercial Design Guidelines outline specific parking and circulation guidelines for drive-through uses. The project conforms to the intent of these guidelines in that the policy recommends that primary ingress and egress for a drive-through should be from a four lane major street; both Saratoga Avenue and Quito Road are four lanes. Sufficient stacking is provided in the drive-through lane (four cars). In addition, pedestrian access to the building does not cross the stacking lane.

The overall quality of the architecture along the street-facing north, east, and west façades is a significant improvement to the existing buildings (refer to Figure 5) in that the existing buildings are dated and unimproved. The proposed design materials are of traditional storefront commercial. In addition, the applicant is proposing significant landscaping upgrades, such as street trees, on-site trees and shrubs, along the street frontages and throughout the site.

Based on the above analysis, staff concludes that the proposed use is consistent with the intent of the Commercial Design Guidelines and represents a significant improvement in the function and appearance of the site as compared to the existing facility.

### **CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)**

An Initial Study (IS) and Mitigated Negative Declaration (MND) were prepared by the Director of Planning, Building, and Code Enforcement for the subject rezoning. The documents were circulated for public review between January 7, 2016 and January 28, 2016.

Comment letters in response to the circulated Initial Study and MND (IS/MND) were received from the Baker West Neighborhood Association and 22 other community members. The comment letters address community concerns regarding traffic, CVS building design, the 24-hour operation proposal, the alcohol sale proposal, and the circulation of vehicles (trucks and passenger vehicles) on and around the proposed site. Since the end of the public review period for the IS/MND, revisions were made to the site plan. Revisions were similarly made to the Traffic Operations Analysis (TOA) and IS/MND. However, the revisions made did not change the project description, material analysis, or environmental conclusions identified in the circulated IS/MND. Therefore, no new mitigation measures were required and the IS/MND was not recirculated per California Environmental Quality Act Statute and Guidelines Section 15073.5(c).

The final IS/MND states that the proposed project will not have a significant effect on the environment. The primary environmental issues addressed in the final Initial Study include potential impacts on the physical development of the site on: biological resources, hazards and hazardous materials, and noise. The MND includes mitigation measures that would reduce any potentially significant project impacts to a less-than-significant level. The mitigation measures will be included in the project in the CUP as permit conditions, as well as, in a Mitigation Monitoring and Reporting Program. The entire MND, Initial Study, Traffic Operations Analysis, Response to Comments, and other related environmental documents are available on the Planning web site at: <http://www.sanjoseca.gov/index.aspx?NID=4991>.

**PUBLIC HEARING NOTIFICATION**

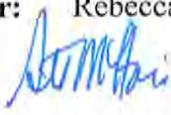
In order to inform the public of the proposed project, staff followed Council Policy 6-30: Public Outreach Policy. A community meeting was held on January 21, 2016 at Mooreland Middle School. Notices were sent to property owners and tenants within 1,000 feet of the subject site. There were approximately 50 community members in attendance at the meeting. Community members expressed concerns with:

- The proposed 24-hour operating hours
- Truck traffic on Quito Road
- The placement of the building on the site

In response to these concerns, the applicant is no longer requesting 24-hour use. In addition, as noted above, truck exiting will be limited to Saratoga Avenue.

A notice of the public hearing was distributed to the owners and tenants of all properties located within 1,000 feet of the project site and posted on the City website. The staff report is also posted on the City's website. Staff has been available to respond to questions from the public.

**Project Manager:** Rebecca Bustos

**Approved by:**  , Planning Official for Harry Freitas, Planning Director

**Date:** 1/21/16

<b>Attachments:</b>
Police Department Memorandum
Draft Ordinance
Draft Resolution
Reduced Plan Set
Initial Study/Mitigated Negative Declaration
Applicant Correspondence: CVS Fact Sheet

<b>Owner:</b>	<b>Applicant:</b>
Geoffrey Farrar Trustee & Et Al P.O. Box 1701 Chico, CA 95928	Armstrong Development Properties, Inc. 2400 Del Paso Road, Suite 140 Sacramento, CA 95816



# Memorandum

**TO:** Rebecca Bustos  
Planning Department

**FROM:** Ofc. Mike Epp #3048  
San Jose Police Vice Unit

**SUBJECT:** CVS CP15-014

**DATE:** March 31, 2015

---

Approved

Date

---

I have received your request for input regarding the construction of a CVS located at the southwesterly corner of Saratoga Avenue and Quito Road, San Jose, Ca. CVS is seeking a Conditional Use Permit to allow 24 hour use and off-sale of alcohol.

Per Business and Professions (B&P) Code Section 23958, the State of California Department of Alcohol Beverage Control shall deny an ABC Application for an ABC License if the issuance of that license would tend to create a law enforcement problem or if it would result in or add to an undue concentration of ABC Licenses, as described in B&P Sections 23958.4 (a)(1) and 23958.4(a)(2). A location can be unduly concentrated because of its criminal statistics and/or it's proximity to other ABC Licenses. ABC can issue the license per B&P Sections 23958.4 (b)(1), and 23958.4 (b)(2) if the local governing body determines that the public convenience or necessity would be served. The City of San Jose Planning Department or the Planning Commission are the delegated authorities to grant these exceptions.

The location is not currently in a Strong Neighborhood Initiative area.

CVS is located in San Jose Police Beat N6. The reported crime statistics as defined by B&P Section 23958.4(c) **are not** over the 20% crime index thus the location **is not** considered unduly concentrated per B&P Section 23958.4 (a)(1).

### Police Beat Crime Statistics

Beat	Index Crimes	Arrests	Total	20% Above Average
N6 (2013)	312	72	384	No
City Average	333	171	504	

Department of Alcohol Beverage Control (ABC) records indicate that the southwesterly corner of Saratoga Avenue and Quito Road is in census tract 5066.04. Pursuant to B&P Section 23958.4 (a)(2), the ratio of off-sale retail licenses to population in census tract 5066.04 **does**

exceed the ratio of off-sale retail licenses to population in the county in which the applicant premises are located.

**Authorized and Current ABC Licenses in Census Tract 5066.04**

Census Tract	Authorized ABC Licenses as of August 2014		Current ABC Licenses as of March 2015		Unduly Concentrated	
	On - Sale	Off - Sale	On - Sale	Off - Sale	On - Sale	Off - Sale
5066.04	9	4	8	6	No	Yes

The San Jose Police Department is **neutral** to the issuance of a Conditional Use Permit Amendment to allow 24 hour use and off sale of alcohol.

Please feel free to contact me at 277-4322 if you have any questions.

Ofc. Mike Epp #3048  
Administrative Officer  
Special Investigations/Vice

**DRAFT**

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE CITY OF SAN JOSE REZONING CERTAIN REAL PROPERTY OF APPROXIMATELY 1.48 ACRES ON THE SOUTHWEST CORNER OF SARATOGA AVENUE AND QUITO ROAD (1804 SARATOGA AVENUE) FROM THE CP COMMERCIAL PEDESTRIAN ZONING DISTRICT TO THE CN COMMERCIAL NEIGHBORHOOD ZONING DISTRICT**

**WHEREAS**, all rezoning proceedings required under the provisions of Chapter 20.120 of Title 20 of the San José Municipal Code have been duly had and taken with respect to the real property hereinafter described; and

**WHEREAS**, A Mitigated Negative Declaration was prepared in conformance with the California Environmental Quality Act of 1970 (CEQA), as amended, for the subject rezoning to CN Commercial Neighborhood Zoning District under File Numbers C15-008 and CP15-014 (the “MND”); and

**WHEREAS**, the City Council of the City of San José is the decision-making body for the proposed subject rezoning to the CN Commercial Neighborhood Zoning District; and

**WHEREAS**, this Council of the City of San José has considered, approved and adopted said MND and related Mitigation Monitoring and Reporting Program under separate Council resolution prior to taking any approval actions on this project.

**NOW THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF SAN JOSE:**

**SECTION 1.** The recitals above are incorporated herein.

**SECTION 2.** All that real property hereinafter described in this section, hereinafter referred to as "subject property," is hereby rezoned as CN Commercial Neighborhood Zoning District.

The subject property referred to in this section is all that real property situated in the County of Santa Clara, State of California, described in Exhibit "A" attached hereto and incorporated herein by this reference.

**SECTION 3.** The district map of the City is hereby amended accordingly.

**SECTION 4.** The land development approval that is the subject of City File No. C15-008 is subject to the operation of Part 2.75 of Chapter 15.12 of Title 15 of the San José Municipal Code. The applicant for or recipient of such land use approval hereby acknowledges receipt of notice that the issuance of a building permit to implement such land development approval may be suspended, conditioned or denied where the City Manager has determined that such action is necessary to remain within the aggregate operational capacity of the sanitary sewer system available to the City of San José or to meet the discharge standards of the sanitary sewer system imposed by the California Regional Water Quality Control Board for the San Francisco Bay Region.

PASSED FOR PUBLICATION of title this 14<sup>th</sup> day of June, 2016 by the following vote:

AYES:

NOES:

ABSENT:

DISQUALIFIED:

---

SAM LICCARDO  
Mayor

ATTEST:

---

TONI J. TABER, CMC  
City Clerk

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN JOSE APPROVING, SUBJECT TO CONDITIONS, A CONDITIONAL USE PERMIT AND GRANTING A DETERMINATION OF PUBLIC CONVENIENCE OR NECESSITY TO ALLOW THE DEMOLITION OF THREE EXISTING COMMERCIAL BUILDINGS TOTALING 15,960 SQUARE FEET, THE CONSTRUCTION OF A 14,700-SQUARE FOOT COMMERCIAL BUILDING WITH A DRIVE-THROUGH PHARMACY AND OFF-SALE OF A FULL RANGE OF ALCOHOL ON A 1.48-GROSS ACRE SITE, LOCATED AT THE SOUTHWEST CORNER OF QUITO ROAD AND SARATOGA AVENUE (1804 SARATOGA AVENUE)**

**FILE NOS. CP15-014 & ABC15-010**

**WHEREAS**, pursuant to the provisions of Chapter 20.100 of Title 20 of the San José Municipal Code, on February 27, 2015, two applications (File Nos. CP15-014 & ABC15-010) by Armstrong Development Properties, Inc. were filed with the City of San José for a Conditional Use Permit and a Determination of Public Convenience and Necessity to allow the demolition of three existing commercial buildings totaling 15,960 square feet, the construction of a 14,700-square foot commercial building with a drive-through pharmacy and off-sale of a full range of alcohol, on that certain real property situated in the CN Commercial Neighborhood Zoning District and located on the southwest corner of Saratoga Avenue and Quito Road (1804 Saratoga Avenue, which real property is sometimes referred to herein as the “subject property”); and

**WHEREAS**, the subject property is all that real property more particularly described in Exhibit "A," entitled “Legal Description,” which is attached hereto and made a part hereof by this reference as if fully set forth herein; and

**WHEREAS**, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San

José Municipal Code, the Planning Commission conducted a hearing on said application on May 4, 2016, notice of which was duly given; and

**WHEREAS**, at said hearing, the Planning Commission gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

**WHEREAS**, at said hearing, the Planning Commission made a recommendation to the City Council respecting said matter based on the evidence and testimony; and

**WHEREAS**, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code, this City Council conducted a hearing on said application, notice of which was duly given; and

**WHEREAS**, at said hearing, this City Council gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

**WHEREAS**, at said hearing this City Council received and considered the reports and recommendation of the City's Planning Commission and City's Director of Planning, Building and Code Enforcement; and

**WHEREAS**, at said hearing, this City Council received in evidence a development/site plan for the subject property entitled, "Proposed CVS Pharmacy #9498," dated February 19, 2015, said plan is on file in the Department of Planning, Building and Code Enforcement and is available for inspection by anyone interested herein, and said plan is incorporated herein by this reference, the same as if it were fully set forth herein; and

**WHEREAS**, said public hearing before the City Council was conducted in all respects as required by the San José Municipal Code and the rules of this City Council;

**WHEREAS**, this City Council has heard and considered the testimony presented to it at the public hearing, and has further considered written materials submitted on behalf of the project applicant, City staff, and other interested parties;

**NOW, THEREFORE**, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SAN JOSE THAT:

After considering evidence presented at the public hearing, the City Council finds that the following are the relevant facts and findings regarding this proposed project:

1. **Site Description and Surrounding Uses.** The project site is located on the southwest corner of Saratoga Avenue and Quito Road. The subject site is currently occupied by 15,960 square feet of commercial buildings and a 0.36-gross acre lot. There are commercial uses to the north, south, and east. Residences are located to the west, across Saratoga Avenue. The closest residential unit is approximately 100 feet to the northwest from the site, across Saratoga Avenue.
2. **Project Description.** This is a Conditional Use Permit and a Determination of Public Convenience or Necessity to allow the demolition of three existing commercial buildings totaling 15,960 square feet, the construction of a 14,700-square foot commercial building with a drive-through (CVS Pharmacy), and off-sale of alcohol. The off-sale of alcohol would consist of an approximately 308-square foot portion of the store (approximately 2% of the total gross floor area). In accordance with Section 20.100.140 of the Municipal Code, the applications are being reviewed concurrently. Access to the site would be provided from one two-way driveway on Saratoga Avenue and one two-way driveway on Saratoga Road. The drive-through would be located on the southeast side of the building, and would accommodate stacking for up to four cars. The drive-through lane would be accessed internally to the site and vehicles would exit onto Quito Road. Use of the drive-through would be limited to prescription pharmaceutical drop-off and pick-up only. Delivery trucks exiting the site would be limited to Saratoga Avenue by signage and CVS driver education; trucks could enter the site from either Saratoga Avenue or Quito Road. Cross-access between the subject site and medical office building to the south would be maintained.
3. **General Plan Conformance.** The project is consistent with the Envision San José 2040 General Plan designation of Neighborhood/Community Commercial. This designation supports a very broad range of commercial activity, including commercial uses that serve the communities in neighboring areas, such as neighborhood serving retail and services and commercial/professional office development.

- a. Consistent with Land Use Goal LU-5, the proposed project maintains and revitalizes an existing commercial site, which would improve upon the current commercial services to the surrounding residential neighborhoods.
- b. Consistent with Land Use Policy LU-5.6, the proposed project upgrades the existing commercial site and adjacent vacant property, thereby retaining and expanding the use of the subject site as a viable business location. The project also incorporates significant landscape enhancements on the perimeter of the site, including street streets and screened parking areas. The architecture of the proposed building is an enhancement to the site, including improved building materials such as brick and glass.
- c. Consistent with Vibrant Neighborhoods Policies VN-1.6, VN-1.7, and VN-1.8, as designed, the project site will enhance the pedestrian environment. The new building will be on the corner of Saratoga Avenue and Quito Road, which will provide direct pedestrian access and visually connect to the surrounding neighborhood rather than placing a majority of the parking abutting the public street. In addition, the architecture of the building will be a significant enhancement and will contribute to positively improving the neighborhood's identity.
- d. Consistent with Community Design Policy CD-2.3, design techniques to enhance pedestrian activity are incorporated into the project. As the site is within an Urban Village, and therefore a pedestrian-oriented area, the proposed building is oriented toward the street and provides minimum building setbacks on both frontages, consistent with the City's Urban Village policies. In this manner, the building will strengthen the streetscape and pedestrian orientation. In addition, the building entrances are accessible from the public street.
- e. Consistent with Community Design Policy CD-3.4, cross-access will continue to be provided between the subject property and the medical offices to the south. Convenient access is provided to the bus stop to the south of the site on Quito Road.
- f. Consistent with Community Design Policy CD-4.9, the proposed building is consistent with the surrounding neighborhood in terms of building materials and orientation of nearby buildings to the street. In addition, the proposed building location matches the setbacks of the commercial buildings to the south. The proposed building was designed to fit the existing neighborhood and provides elements of traditional commercial retail design, in terms of the materials, single-story scale, large storefront windows, and awnings. Proposed building is consistent with the surrounding neighborhood in terms of building materials and orientation of nearby buildings to the street. In addition, the proposed building location matches the setbacks of the commercial buildings to the south. The proposed building was designed to fit the existing neighborhood and provides

elements of traditional commercial retail design, in terms of the materials, single-story scale, large storefront windows, and awnings.

- g. Consistent with Vibrant Neighborhoods Policy VN-3.1 and Land Use Policy-5.10, the proposed pharmacy and retail store with alcohol sales will provide a range of services to the surrounding neighborhood. As noted above, the off-sale of a full-range of alcoholic beverages would consist of an approximately 308-square foot portion of the store (approximately 2% of the total gross floor area). Although not a grocery store, retail operations at the store would include packaged meats, produce, eggs, and dairy products.
4. **Zoning Ordinance Compliance.** This Project complies with all applicable provisions of the Zoning Ordinance for building height, setbacks, and parking, in that the CN Commercial Neighborhood Zoning District requires a CUP for drive-through uses and the off-sale of alcoholic beverages per Section 20.50.100 of the Zoning Ordinance.
    - a. **Setbacks and Height.** The proposed building is consistent with the required minimum 10-foot front setback of the CN Commercial Neighborhood Zoning District in that the building is setback 10 feet from Saratoga Avenue and Quito Road. In addition, the maximum height in the CN Commercial Neighborhood Zoning District is 50 feet. The proposed building is a maximum of 30 feet and eight inches in height.
    - b. **Parking.** Parking for retail uses is required at a rate of one parking space per 200 square feet of floor area. Based on 14,700 gross square feet of building area, 63 parking spaces would be required for the site. A total of 64 parking spaces are proposed.
  5. **Council Policy 6-10: Criteria for the Review of Drive-Through Uses.** The City Council Policy, Criteria for the Review of Drive-Through Uses, is intended to provide guidelines for the development of establishments with drive-through facilities within the City of San José.
    - a. Traffic.
      - 1) Primary ingress and egress to drive-through type use parking lots should be from at least a four-lane major street.
      - 2) The drive-through stacking lane shall be situated so that any overflow from the stacking lane shall not spill out onto public streets or major aisles of any parking lot. Overflow capacity shall be 50 percent of required stacking for overflow restricted to the parking lot and 100 percent of required stacking if the overflow is directed to the street.
      - 3) No ingress and egress points shall conflict with turning movements of street intersections,

- 4) No drive-through use shall be approved with ingress or egress driveways within 300 feet of a signalized intersection operating at a Level of Service D, E, or F unless a traffic analysis demonstrates, to the satisfaction of the Director of Public Works, that vehicles entering or leaving said use will not impair the efficiency or operation of the intersection.
- 5) The drive-through stacking lane shall be separated physically from the user's parking lot and shall have a capacity of: Restaurants—8 cars per lane.
- 6) No pedestrian crossing of the drive-through lane shall be allowed.
- 7) Proposed drive-through uses at or near signalized intersections may compound existing traffic congestion and make it intolerable even if the intersection meets the Transportation LOS Policy. In these situations proposed drive-through uses should be discouraged.

Analysis: The project conforms to these guidelines in that the policy recommends that primary ingress and egress for a drive-through should be from a four lane major street; both Saratoga Avenue and Quito Road are four lanes. Overflow stacking will be within the parking lot and the site access driveways do not conflict with adjacent intersection or internal circulation of the parking lot. The Public Works Department concluded that the project is in conformance with the City's Transportation Level of Service Policy (Council Policy 5-3). Stacking meets the requirement of the policy, in that stacking for 4 cars is provided in the drive-through lane. The site plan is designed to prohibit crossing of the drive-through lane by pedestrians.

b. Noise.

- 1) Drive-through speakers shall not be audible from adjacent residentially used, zoned, or General Planned properties.
- 2) Drive-through speakers shall not be used when the drive-through lane abuts residentially used, zoned, or General Planned Property.
- 3) Use of sound attenuation walls and landscaping shall be encouraged.

Analysis: The closest residences to the drive-through lane are 229 feet to the west beyond the proposed building and approximately 240 feet to the east of the site, beyond a commercial building and associated parking lot. Adjacent properties are not used, zoned, or designated in the General Plan for residential uses.

c. Hours of Operation.

- 1) No drive-through portion of land use shall operate after the hour of 10:00 P.M. when adjacent to residentially used, zoned, or General Planned properties.

Analysis: As stated above, there are no residentially used, zoned, or General Planned properties directly abutting the subject site. The project proposes to

operate the drive-through from 6:00 a.m. to midnight.

d. Emission Control.

- 1) An east-west orientation of drive-through lanes is discouraged, especially on the south side of main buildings.
- 2) "Tunneling" will be deemed to occur where adjacent buildings are within thirty (30) feet of each other, or where roof/wall structures enclose a space less than thirty (30) feet. Such situations are discouraged unless air quality analyses performed by the applicant show that unusual pollutant concentrations will not occur.
- 3) Applicants shall take positive steps to protect employees of the drive-through facility from emissions caused by idling cars.
- 4) Drive-through lanes shall not be located adjacent to patios and other pedestrian use areas, other than walkways.
- 5) Drive-through use stacking lanes are discouraged in close proximity to residential uses, existing or planned.

Analysis: The drive-through would be on the east side of the building and oriented in a semi-circle, a portion of which is east-west. There are no other buildings within 30 feet, and the drive-through is not adjacent to any pedestrian use area or in close proximity to residential uses.

e. Urban Design.

- 1) The architecture of drive-through uses shall be compatible and harmonize with that of the shopping center motif or immediate neighborhood in terms of building color, materials, mass, scale, and form. Standardized, "corporate" building designs shall be discouraged.
- 2) Drive-through lanes shall be buffered from adjacent properties by means of heavy landscaping, and sound attenuating uses where appropriate and necessary.

Analysis: The architecture of the proposed building is a significant improvement to the existing site and avoids corporate architecture by introducing architectural elements unique to this franchise, including orienting the building towards the street and utilizing brick materials. The mass and scale are consistent with surrounding buildings that are also one-story. Significant landscaping improvements are provided, particularly along the street frontages. Street trees will also be planted. The proposed building was designed to fit the existing neighborhood and provides elements of traditional commercial retail design, in terms of the materials, single-story scale, large storefront windows, and awnings.

f. Lighting.

- 1) Reference is made to Section 20.12.200 of the Zoning Ordinance. 20.12.200:

Lighting. Any and all lighting facilities hereafter erected, constructed, or used for or in connection with any off-street parking spaces located in any residential district or adjacent to any residential district shall be so arranged and shielded that light will be reflected away from lands located in such residential district, and so that there will be no glare which will cause unreasonable annoyance to occupants of properties in such residential district, or otherwise interfere with the public health, safety, or welfare.

Analysis: The proposed lighting is in conformance with the City's Interim Lighting Policy Broad-spectrum Lighting (LED) for Private Development, as LED lighting that is consistent with the specification of this policy are proposed. No lighting impacts to nearby residential uses are anticipated in that all the proposed lighting is fully shielded.

g. Location.

- 1) Drive-through uses shall be located 200 feet or more from immediately adjacent or directly opposite residentially used, zoned, or General Planned properties.
- 2) Drive-through facilities are discouraged in the Downtown Core Area (bounded by Julian Street, Fourth Street, Freeway 280, and Future Freeway 87).
- 3) Buildings with drive-through facilities shall be located with a minimum separation of 500 feet from any structure containing a drive-through facility.

Analysis: The proposed use is not located within 200 feet of a residence or 500 feet of another drive-through use, and is not within the Downtown Core Area.

6. **Commercial Design Guidelines.** The Commercial Design Guidelines outline specific parking and circulation guidelines for drive-through uses. The project conforms to the intent of these guidelines in that the policy recommends that primary ingress and egress for a drive-through should be from a four lane major street; both Saratoga Avenue and Quito Road are four lanes. Sufficient stacking is provided in the drive-through lane (4 cars). In addition, pedestrian access to the building does not cross the stacking lane.

The overall quality of the architecture along the street-facing north, east, and west façades is a significant improvement to the existing buildings in that the existing buildings are dated and unimproved. The proposed design materials are of traditional storefront commercial. In addition, the applicant is proposing significant landscaping upgrades, such as street trees, on-site trees and shrubs, along the street frontages and throughout the site.

7. **Environmental Review.** The environmental impacts of the project, including but not limited to noise, vibration, dust, drainage, erosion, stormwater runoff, and odor which, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative affect on adjacent property or properties, in that

a Mitigated Negative Declaration (MND) was adopted for this project under the provisions of the environmental review requirements of Title 21 of the San José Municipal Code implementing the California Environmental Quality Act of 1970, as amended, and pursuant to Section 15164 of the CEQA Guidelines. The MND identified impacts to nesting birds, hazardous materials, and construction and mechanical equipment noise. Mitigation measures included in the MND would be applied to the project to reduce these impacts to a less than significant level. Therefore, the project will not result in significant environmental effects.

Based on the above-stated facts and analysis, and subject to any conditions set forth below, the City Council concludes and finds that:

1. **Demolition Permit Findings.** Under the provisions of Section 20.80.460 of the San José Municipal Code, prior to the issuance of any development permit, which allows for the demolition, removal or relocation of a building, the following shall be considered to determine whether the benefits of permitting the demolition, removal or relocation outweigh the impacts of the demolition, removal or relocation:
  - a. The failure to approve the permit would result in the creation or continued existence of a nuisance, blight or dangerous condition;
  - b. The failure to approve the permit would jeopardize public health, safety or welfare;
  - c. The approval of the permit should facilitate a project which is compatible with the surrounding neighborhood;
  - d. The approval of the permit should maintain the supply of existing housing stock in the City of San José;
  - e. Both inventoried and non-inventoried buildings, sites and districts of historical significance should be preserved to the maximum extent feasible;
  - f. Rehabilitation or reuse of the existing building would not be feasible; and
  - g. The demolition, removal or relocation of the building without an approved replacement building should not have an adverse impact on the surrounding neighborhood.

In addition, the City Council concludes and finds, based on the analysis of the above facts in regards to the Site Development Permit, that:

1. The interrelationship between the orientation, location, and elevations of proposed buildings and structures and other uses on-site are mutually compatible and aesthetically harmonious, as the proposed building will be the only structure located on the subject site.
2. The orientation, location and elevation of the proposed buildings and structures and other uses on the site are compatible with and are aesthetically harmonious with adjacent development or the character of the neighborhood, in that the proposed

building height, materials, and colors are similar to surrounding buildings and structures. The proposed building is located and oriented on-site to provide convenient and safe vehicular and pedestrian access and continues to allow cross-access with the development to the south.

3. The environmental impacts of the project, including but not limited to noise, vibration, dust, drainage, erosion, storm water runoff, and odor which, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative affect on adjacent property or properties in that a Mitigated Negative Declaration was prepared for the project and mitigation measures for biological resources, hazardous materials, and noise would be implemented. No significant environmental impacts to noise, vibration, dust, drainage, erosion, storm water runoff, or odor are anticipated.
4. Landscaping, irrigation systems, walls and fences, features to conceal outdoor activities, exterior heating, ventilating, plumbing, utility and trash facilities are sufficient to maintain or upgrade the appearance of the neighborhood, in that the proposed project includes improved landscaping on all street frontages and within the parking lot.
5. Traffic access, pedestrian access and parking are adequate, in that the proposed building is located and oriented on-site to provide convenient and safe vehicular and pedestrian access, and the project continues to allow cross-access with the development to the south. The parking provided meets the requirements of the Municipal Code.
6. The application is either consistent with the General Plan or counterbalancing considerations justify the inconsistency, in that the project will revitalize an existing commercial site that is designated Neighborhood Community/Commercial on the Land Use/Transportation Diagram.

Based on the above-stated facts and analysis in regards to the subject Conditional Use Permit, and subject to any conditions set forth below, the City Council concludes and finds that:

1. The proposed use at the location requested will not:
  - a. Adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; or
  - b. Impair the utility or value of property of other persons located in the vicinity of the site; or
  - c. Be detrimental to public health, safety or general welfare.

Analysis: As indicated in a Police Department Memorandum dated September 2, 2015, the proposed use is not located within an area of high crime, but the area does exceed the ratio of off-sale retail licenses to population in the county. However, the Police Department is neutral to the issuance of the Conditional Use Permit per their

memo dated March 31, 2015. In addition, the alcohol sales (approximately 2% of the floor area) will be within a full service store that also provides fresh produce, dairy, and meat products.

The proposed drive-through meets the standards identified in City Council Policy 6-10.

2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding area.

Analysis: The project site is of adequate size and shape to meet the parking requirements of Title 20 and provide significant landscaping upgrades to the site, including fully landscaped setback areas and parking lot trees.

3. The proposed site is adequately served:
  - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate; or by other forms of transit adequate to carry the kind and quantity of individuals such use would generate; and
  - b. By other public or private service facilities as are required.

Analysis: The subject site is adequately served by the adjacent public streets and can be directly accessed from Saratoga Avenue and Quito Road. There is a bus stop directly to the south of the site on Quito Road.

Further, the City Council concludes and finds, based on the analysis of the above facts in regards to the Zoning Ordinance findings for off-sale of alcohol that:

1. For such use at a location closer than 500 feet from any other use involving the off-sale of alcoholic beverages, situated either within or outside the City, that the proposed location of the off-sale of alcoholic beverages use would not result in a total of more than four (4) establishments that provide alcoholic beverages for off-site consumption within a 1,000-foot radius from the proposed location.

Analysis: There is one other use involving the off-sale of alcoholic beverages within a 500 foot radius of the proposed site (Lucky Stores). The other use shown on the map located within 150 feet (Saratoga Bottle Shop) is currently located on the project site and will be demolished as part of this application. There are no other uses within a 1,000 foot radius of the site, and this site will only be the second off-sale of alcoholic beverages location within 1,000 feet. Therefore, this finding **can** be made.

2. For such use at a location closer than 500 feet from any other use involving the off-sale of alcoholic beverages, situated either within or outside the City, where the proposed location of the off-sale of alcoholic beverages use would result in a total of more than four establishments that provide alcoholic beverages for off-site

consumption within a 1,000 foot radius from the proposed location, that the resulting excess concentration of such uses will not:

- a. Adversely affect the peace, health, safety, morals, or welfare of persons residing or working in the surrounding area; or
- b. Impair the utility or value of property of other persons located in the vicinity of the area; or
- c. Be detrimental to public health, safety or general welfare.

Analysis: As stated above, the proposed use will not result in more than four establishments that provide alcoholic beverages for off-site consumption within a 1,000 foot radius of the proposed location. Therefore, this finding is **not applicable**.

3. For such a use at a location closer than 500 feet from any child care center, public park, social service agency, residential care facility, residential service facility, elementary school, secondary school, college or university, or closer than 150 feet from any residentially zoned property, that the building in which the proposed use is to be located is situated and oriented in such a manner that would not adversely affect such residential, child care center, public park, social service agency, residential care facility, residential service facility and/or school use.

Analysis: The proposed site is not located closer than 500 feet from any child care center, social service agency, residential care facility, residential service facility, elementary school, secondary school, or college or university. The project site is within 150 feet from a residentially zoned property, located beyond Saratoga Avenue. However, as noted above, there is an existing full-range alcohol sales establishment on the site that the subject project would replace. The proposal represents an improvement to the configuration of the site in that it would replace a completely full-range alcohol sales establishment, as well as provide other retail offerings, and would be oriented away from residential uses. Therefore, this finding **can** be made.

Finally, the City Council concludes and finds, based on the analysis of the above facts in regards to the Municipal Code findings for a Determination of Public Convenience or Necessity that:

1. The proposed use is not located within a Strong Neighborhoods Initiative or Neighborhood Revitalization area or other area designated by the city for targeted neighborhood enhancement services or programs, or located within an area in which the chief of police has determined that the proposed use: (a) would be detrimental to the public health, safety, or welfare of persons located in the area, or (b) would increase the severity of existing law enforcement or public nuisance problems in the area.

Analysis: The proposed use is not located within a Strong Neighborhoods Initiative (SNI) area. In addition, the Police Department, as stated in a memorandum dated March 31, 2016 is neutral to the issuance of the Conditional Use Permit, as the reported crime statistics are not over the 20 percent crime index. This finding **can** be made.

2. The proposed use would not lead to the grouping of more than four off-sale uses within a 1,000-foot radius from the proposed use.

Analysis: There is only one other off-sale use within a 1,000 foot radius of the site, and this site will only be the second off-sale of alcoholic beverages location within 1,000 feet, replacing an existing establishment on the subject site. Therefore, this finding **can** be made.

3. The proposed use would not be located within five hundred feet of a school, day care center, public park, social services agency, or residential care or service facility, or within one hundred fifty feet of a residence.

Analysis: The proposed use is not located within 500 feet of a school, day care center, social services agency, or residential care or service facility. The site is within 150 feet of a residence. Therefore, this finding **cannot** be made.

4. Alcohol sales would not represent a majority of the proposed use.

Analysis: Approximately 2% percent of the total floor area is proposed to be used for the sale of alcohol for off-site consumption. Accordingly, the off-sale use represents an ancillary and incidental component to the primary pharmacy and retail use and does not represent a majority of the overall use. Therefore, this finding **can** be made.

5. The proposed outlet for the off-sale of alcoholic beverages would enhance or facilitate the vitality of an existing commercial area without presenting a significant impact on public health or safety.

Analysis: The retail store with incidental off-sale of alcohol will further the development of this area as a vibrant, walkable, mixed-use neighborhood that enhances and supports the vitality of the existing area without significantly impacting the public health or safety. Therefore, this finding **can** be made.

Given the above-stated analysis, the City Council declares that the third finding for the Determination of Public Convenience and Necessity cannot be made for the proposed off-sale of alcohol because the site is within 150 feet of a residential property. As such, the Council can issue a determination in connection with an application for a license from the California Department of Alcoholic Beverage Control for the off-premises sale of alcoholic beverages where a determination that not all of the required findings set forth above can be made, and that a significant and overriding public benefit or benefits will be provided by the proposed use. The City Council identifies and finds that significant and overriding public benefit will be provided by the proposed use in that the

alcohol will be provided in a commercial establishment that provides fresh groceries and will replace an existing alcohol only sales establishment.

In accordance with the findings set forth above, a Conditional Use Permit and Determination of Public Convenience or Necessity for said purpose specified above and subject to each and all of the conditions hereinafter set forth is hereby **approved**. The City Council expressly declares that it would not have made this Determination and granted this Permit except upon and subject to each and all of said conditions, each and all of which conditions shall run with the land and be binding upon the owner and all subsequent owners of the subject property, and all persons who use the subject property for the use conditionally permitted hereby.

**APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. **Acceptance of Permit.** Per Section 20.100.290(B), should the applicant fail to file a timely and valid appeal of this Conditional Use Permit within the applicable appeal period, such inaction by the applicant shall be deemed to constitute all of the following on behalf of the applicant:
  - a. Acceptance of the Conditional Use Permit by the applicant; and
  - b. Agreement by the applicant to be bound by, to comply with, and to do all things required of or by the applicant pursuant to all of the terms, provisions, and conditions of this Permit or other approval and the provisions of Title 20 of the San José Municipal Code applicable to the Conditional Use Permit.
2. **Permit Expiration.** This Conditional Use Permit shall automatically expire four (4) years from and after the date of issuance hereof by the City Council, if within such time period, a Building Permit has not been obtained or the use, if no Building Permit is required, has not commenced, pursuant to and in accordance with the provision of this Conditional Use Permit. The date of issuance is the date this Conditional Use Permit is approved by the City Council. However, the Director of Planning may approve a Permit Adjustment to extend the validity of this Permit in accordance with Title 20 of the San José Municipal Code. The Permit Adjustment must be approved prior to the expiration of this Permit.
3. **Sewage Treatment Demand.** Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the applicant for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José Santa Clara Regional Wastewater Facility represented by approved land uses in the area served by said Plant will cause the total sewage treatment demand to meet or exceed the capacity of San José Santa Clara Regional Wastewater Facility to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional

Water Quality Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approval authority.

4. **Conformance to Plans.** The development of the site shall conform to the approved Conditional Use Permit plans entitled, "Proposed CVS Pharmacy #9498" dated February 19, 2015, on file with the Department of Planning, Building and Code Enforcement, as may be amended subject to City approval, and to the San José Building Code (San José Municipal Code, Title 24). The approved plans are referred to in this Permit as the "approved plans" or "Approved Plan Set".
5. **Certificate of Occupancy.** The permittee shall obtain a Certificate of Occupancy. Procurement of a Certificate of Occupancy from the Building Official for the structures described or contemplated under this Permit shall be deemed acceptance of all conditions specified in this Conditional Use Permit and the permittee's agreement to fully comply with all of said conditions. No change in the character of occupancy or change to a different group of occupancies as described by the Building Code shall be made without first obtaining a Certificate of Occupancy from the Building Official, as required under San José Municipal Code Section 24.02.610, and any such change in occupancy must comply with all other applicable local and state laws.
6. **Compliance with Local and State Laws.** The subject use shall be conducted in full compliance with all local and state laws, regulations and required permits. No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code.
7. **Discretionary Review.** The Director of Planning, Building and Code Enforcement maintains the right of discretionary review of requests to alter or amend structures, conditions, or restrictions of this Permit incorporated by reference in accordance with Chapter 20.100 of the San José Municipal Code.
8. **Use Authorization.** This Conditional Use Permit authorizes the off-sale (up to 2% of the total gross floor area) of a full range of alcoholic beverages in conjunction with a full service grocery store that provides fresh dairy and meat products (minimum of 36 square feet of fresh foods) and a drive-through limited to prescription pharmaceutical drop-off and pick-up.
9. **Demolition of Existing Structures.** This Permit allows the demolition of structures as noted on the Approved Plan Set. The Demolition Permit for the removal of the existing structure will not be issued until a Building Permit for construction of the new structure as set forth in this Conditional Use Permit has been obtained.
10. **Alcohol Service and Sale.** Alcohol service and sale shall be conducted in full compliance with the issued ABC license.
11. **Limitations on Area of Alcohol Sales.** The area in which alcoholic beverages are displayed or otherwise offered for sale shall not exceed 2 percent of the total floor area

of the entire building.

12. **Outdoor Storage.** No outdoor storage is allowed or permitted unless designated on the Approved Plan Set.
13. **Anti-Graffiti.** The operator shall remove all graffiti from buildings, fences, and wall surfaces within 48 hours of defacement.
14. **Anti-Litter.** The site and surrounding area shall be maintained free of litter, refuse, and debris.
15. **Outdoor Uses.** There shall be no outdoor uses approved through issuance of this Permit.
16. **Sign Approval.** No signs are approved at this time. All proposed signs shall be subject to approval by the Director of Planning.
17. **Truck Exiting.** Delivery trucks exiting the site shall be limited to Saratoga Avenue. Trucks may utilize Quito Road for access to the site.
18. **Public Works Clearance for Building Permit(s) or Map Approval:** Prior to the approval of the Tract or Parcel Map (if applicable) by the Director of Public Works, or the issuance of Building permits, whichever occurs first, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.
  - a. **Construction Agreement:** The public improvements conditioned as part of this permit require the execution of a Construction Agreement that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This agreement includes privately engineered plans, bonds, insurance, a completion deposit, and engineering and inspection fees.
  - b. **Transportation:**
    - 1) This project is exempt from the Level of Service (LOS) Policy, and no further LOS analysis is required because the project proposed traffic is less than the traffic generated by the existing commercial building.
    - 2) A Traffic Operational Analysis was performed for this project and a separate Traffic Operational Analysis memo dated April 04/15/16 was issued for this project. The following conditions are in the Traffic Operational memo:
      - (i) Coordinate with VTA the relocation of existing bus stop located on Quito Road closer to the intersection of Saratoga Avenue/Quito Road. Bus stop improvements should be to the satisfaction of VTA.
      - (ii) Install green pavement enhancement for the existing bike lanes along project frontages and at the south east quadrant of the intersection of Saratoga Avenue/Quito Road to improve bike lanes visibility. Design of

the green bike lanes will be finalized at the street improvement stage.

- (iii) Install signs on-site restricting truck egress onto Quito Road.
- c. **Grand Boulevard:** This project fronts Saratoga Avenue which is designated as one of the seven Grand Boulevards per the Envision San Jose 2040 General Plan. Grand Boulevards are identified to serve as major transportation corridors for primary routes for VTA light-rail, bus rapid transit, standard or community buses, and other public transit vehicles.
- d. **Grading/Geology:**
  - (i) A grading permit is required prior to the issuance of a Public Works Clearance.
  - (ii) All on-site storm drainage conveyance facilities and earth retaining structures 4' foot in height or greater (top of wall to bottom of footing) or is being surcharged (slope of 3:1 or greater abutting the wall) shall be reviewed and approved under Public Works grading and drainage permit prior to the issuance of Public Works Clearance. The drainage plan should include all underground pipes, building drains, area drains and inlets. The project shall provide storm drainage calculations that adhere to the 2010 California Plumbing Code or submit a stamped and signed alternate engineered design for Public Works discretionary approval and should be designed to convey a 10 year storm event.
  - (iii) If the project proposes to haul more than 10,000 cubic yards of cut/fill to or from the project site, a haul route permit is required. Prior to issuance of a grading permit, contact the Department of Transportation at (408) 535-3850 for more information concerning the requirements for obtaining this permit.
  - (iv) Because this project involves a land disturbance of one or more acres, the applicant is required to submit a Notice of Intent to the State Water Resources Control Board and to prepare a Storm Water Pollution Prevention Plan (SWPPP) for controlling storm water discharges associated with construction activity. Copies of these documents must be submitted to the City Project Engineer prior to issuance of a grading permit.
- e. **Stormwater Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of Best Management Practices (BMPs) which includes site design measures, source controls and numerically-sized Low Impact Development (LID) stormwater treatment measures to minimize stormwater pollutant discharges.
- f. **Stormwater Peak Flow Control Measures:** The project is located in a

Hydromodification Management (HM) area and will create and/or replace one acre or more of impervious surface. The project must comply with the City's Post-Construction Hydromodification Management Policy (Council Policy 8-14) which requires HM projects to demonstrate that post-project runoff does not exceed estimated pre-project runoff rates and durations. The project will be required to address HM requirements at implementation stage (grading permit).

- g. **Flood: Zone D:** The project site is not within a designated Federal Emergency Management Agency (FEMA) 100-year floodplain. Flood Zone D is an unstudied area where flood hazards are undetermined, but flooding is possible. There are no City floodplain requirements for Zone D.
- h. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
- i. **Undergrounding:** The In Lieu Undergrounding Fee shall be paid to the City for all frontage adjacent to Saratoga Avenue prior to issuance of a Public Works Clearance. 100 percent of the base fee in place at the time of payment will be due. Currently, the 2016 base fee is \$451 per linear foot of frontage and is subject to change every January 31<sup>st</sup> based on the Engineering News Record's City Average Cost Index for the previous year. The project will be required to pay the current rate in effect at the time the Public Works Clearance is issued (based on 2016 rate, the fee is approximately \$186,862).
- j. **Street Improvements:**
  - 1) Applicant shall be responsible to remove and replace curb, gutter, and sidewalk damaged during construction of the proposed project.
  - 2) Close unused driveway cut(s).
  - 3) Construct City standard driveway, 26' wide for the right-in and right-out driveway on Saratoga Avenue and Quito Road. The egress only drive through driveway on Quito Road should be 12' in width.
  - 4) Install City standard handicap ramp at the south west corner of Saratoga Avenue/Quito Road
  - 5) Construct 15' attached sidewalk with tree wells at the back of curb along Saratoga Avenue project frontage. Sidewalk between the westerly property line and the Saratoga Avenue driveway should be 10' to match the existing driveway west of the project.
  - 6) Construct 10' attached sidewalk with tree wells at the back of curb along Quito Road project frontage.
  - 7) Dedicate 5' along project frontage on Saratoga Avenue to accommodate the 15' sidewalk.

- 8) Dedication and improvement of the public streets to the satisfaction of the Director of Public Works.
- 9) Repair, overlay, or reconstruction of asphalt pavement may be required. The existing pavement will be evaluated with the street improvement plans and any necessary pavement restoration will be included as part of the final street improvement plans.

k. **Electrical:**

- 1) Existing electroliers along the project frontage will be evaluated at the public improvement stage and any street lighting requirements will be included on the public improvement plans.
- 2) Locate and protect existing electrical conduit in driveway and/or sidewalk construction.
- 3) Provide clearance for electrical equipment from driveways, and relocate driveway or electrolier. The minimum clearance from driveways is 10' in commercial areas and 5' in residential areas.
- 4) Provide clearance for electroliers from overhead utilities and request clearance from utility companies. Clearance from electrolier(s) must provide a minimum of 10' from high voltage lines; 3' from secondary voltage lines; and 1' from communication lines.

- l. **Street Trees:** The locations of the street trees will be determined at the street improvement stage. Contact the City Arborist at (408) 794-1901 for the designated street tree. Install street trees within public right-of-way along entire project street frontage per City standards; refer to the current "Guidelines for Planning, Design, and Construction of City Streetscape Projects". Street trees shall be installed in cut-outs at the back of curb. Obtain a DOT street tree planting permit for any proposed street tree plantings. Street trees shown on this permit are conceptual only.

- m. **Referrals:** This project should be referred to the County Roads and Airports Department.

19. **Conformance to MMRP.** This project shall conform to all applicable requirements of the Mitigation Monitoring and Reporting Program approved for this development.

a. **Biological Resources.**

- 1) MM BIO-1: The project applicant shall schedule vegetation removal and other construction activities between September and December (inclusive), to the extent feasible, to avoid the bird nesting season. If all project activity cannot be limited to this period, preconstruction surveys shall be conducted between January and August (inclusive) by a qualified ornithologist to identify active nests of native bird species that can be removed or otherwise disturbed

during project implementation.

Between January and April (inclusive) pre-construction surveys shall be conducted no more than 14 days prior to the initiation of construction activities or tree relocation or removal. Between May and August (inclusive), pre-construction surveys shall be conducted no more than thirty (30) days prior to the initiation of these activities. The surveying ornithologist will inspect all shrubs and trees on the project site for active bird nests and suitable trees within 250 feet of the project site for active raptor nests.

If an active nest is found on the project site or close enough to the site that it can be disturbed by project activities, the ornithologist will, in consultation with California Department of Fish and Wildlife (CDFW), designate a construction-free buffer zone (typically 250 feet) around the nest. The project applicant shall submit a report indicating the results of the survey and any designated buffer zones to the satisfaction of the Planning Department prior to the issuance of any grading or building permit.

**b. Hazards and Hazardous Materials.**

- 1) **MM HAZ-1:** Before the start of earthmoving activities at the former Shell Oil gas station site, the project applicant shall coordinate with the parties responsible for cleanup to obtain site closure from the Santa Clara County Department of Environmental Health (SCCDEH) with concurrence from the San Francisco Bay Regional Water Quality Control Board (RWQCB). Site closure includes destruction of all groundwater monitoring wells, pursuant to the Santa Clara Valley Water District's well ordinance, and any other local, State, or federal agency requirements. The project applicant shall provide notification in writing to the City that all required RWQCB obligations have been fulfilled. In addition, the project applicant shall provide documentation to the City that the SCCDEH has reviewed the proposed development, and that if required, any additional mitigation, sampling, or health risk assessment has been performed and approved by the SCCDEH.
- 2) **MM HAZ-2:** Before the start of earthmoving activities, the project applicant shall obtain the services of a qualified environmental professional to excavate at the location of Boring B-2 and remove the presumed underground storage tank (UST). The proper tank removal permits shall be obtained from the SCCDEH. Soil samples shall be collected in the vicinity of the UST and tested at an appropriately certified laboratory for hazardous materials. The soil testing shall occur before the start of project-related excavation activities, as required by the SCCDEH. Samples shall be tested for, at a minimum, petroleum hydrocarbons, metals, arsenic, and volatile organic compounds (VOCs), as required by the SCCDEH. The report from the laboratory testing shall be provided to the City and the SCCDEH. Based upon the visual observations and laboratory testing, the SCCDEH will determine whether an

unauthorized discharge exists and if a fuel leak investigation is required. The project applicant shall obtain the services of a State-licensed professional geologist or professional engineer to oversee the follow-up work, if the SCCDEH determines that a fuel leak investigation and subsequent remedial activities are required.

If hazardous materials are found in the soil at concentrations that exceed human health screening levels, all contaminated soil material shall be properly disposed at an appropriately permitted landfill. All federal, state, and local hazmat regulations (i.e., Office of Safety and Health Administration, Department of Toxic Substances Control, SCCDEH, and City) shall be observed during the excavation process, for worker health and safety. Such measures may include the use of personal protective equipment, continuous on-site air quality monitoring during construction, and other precautions.

- 3) **MM HAZ-3:** Before the start of earthmoving activities at any location on the project site, a Site Management Plan (SMP) shall be prepared that identifies, at a minimum, the potential types of contaminants that can be encountered during construction activity (including soil contamination at the former Shell Oil gas station site and a potential septic or grease trap on the northwest side of the restaurant building); all appropriate worker, public health, and environmental protection equipment and procedures to be used during project activities; emergency response procedures; the most direct route to the nearest hospitals; a Site Safety Officer. The SMP shall describe actions to be taken if hazardous materials are encountered on-site and will include the telephone numbers of local and State emergency hazmat response agencies. The SMP shall also provide specific details to the contractor and site workers on procedures to address any unknown contamination discovered during site development. The SMP shall indicate that if, during site preparation and construction activities, evidence of hazardous materials contamination is observed or suspected (e.g., stained or odorous soil or groundwater), construction activities immediately will cease in the area of the find. A qualified hazardous materials specialist shall assess the site and collect and analyze soil and/or water samples, as necessary. If contaminants are identified in the samples, the project applicant shall notify and consult with the appropriate federal, State, and/or local agencies. Measures to remediate contamination and protect worker health and the environment shall be implemented in accordance with the SMP and federal, State, and local regulations before construction activities may resume at the area of the site where contamination has been encountered. Such measures may include preparation of a Phase I and/or Phase II Environmental Site Assessment (ESA), and removal of contaminated soil. The project applicant may elect to implement cleanup measures, or to coordinate with the Shell Oil Company responsible party to perform any additional cleanup activities specifically

associated with that area of the site.

**c. Noise.**

- 1) **MM NOI-1:** A pre-project crack survey of the exterior of the existing commercial uses south of the project site shall be conducted to document existing conditions. Ground vibration levels outside these adjacent buildings shall be monitored during construction activities when heavy equipment operates within 50 feet of the buildings, to confirm that vibration levels are below the allowable level of 0.20 in/sec PPV. If vibration levels exceed the allowable level, a post-construction crack survey shall be completed, and any damage to the adjacent buildings resulting from project construction shall be repaired by the project applicant before completion of exterior construction activities at the project site. Documentation regarding the repair shall be submitted to the Department of Public Works for review and approval.
- 2) **MM NOI-2:** Mechanical equipment concealing screen and rooftop parapet shall be incorporated as part of the project design and will provide acoustical shielding at the source. The mechanical equipment screening and rooftop parapet shall be designed by a qualified acoustical consultant, or the qualified consultant may verify the design, to reduce operational noise levels by 4 dBA at the source. Design documents and specifications of the screening and rooftop parapet used to achieve the desired noise level reduction at the source shall be prepared by the project applicant before the start of construction activities. Documentation regarding the design of mechanical equipment screening and rooftop parapets shall be submitted to the Department of Public Works for review and approval.

**20. Air Quality Standard Project Conditions.** The following standard permit conditions will be implemented by the project applicant during all phases of construction on the project site:

- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered 2 times per day.
- b. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. All vehicle speeds on unpaved roads shall be limited to 15 miles per hour.
- e. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading, unless seeding or soil binders are used.
- f. Idling times shall be minimized either by shutting equipment off when not in use

or by reducing the maximum idling time to 5 minutes (as required by California airborne toxics control measure Title 13, Section 2485 of the California Code of Regulations). Clear signage shall be provided for construction workers at all access points.

- g. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
- h. A publicly visible sign shall be posted at the project site with the telephone number and person to contact at the City of San José regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number also shall be visibly posted in compliance with applicable agency regulations.
- i. The simultaneous occurrence of excavation, grading, and ground-disturbing construction activities in the same work site at any one time shall be limited. Construction activities shall be phased to reduce the amount of disturbed surfaces at any one time.
- j. Idling time of diesel powered construction equipment shall be no more than 2 minutes.
- k. The project applicant shall develop a plan demonstrating that the off-road equipment (more than 50 horsepower) to be used for construction activities (i.e., owned, leased, and subcontractor vehicles) will achieve a project-wide, fleet average, 20 percent NOx reduction and 45 percent PM reduction, compared to the most recent CARB fleet average. Acceptable options for reducing emissions shall include the use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, add-on devices such as particulate filters, and/or other options that become available.

## **21. Biological Resources Standards Project Conditions.**

- a. As part of the development permit approval process, the proposed project shall conform to standard permit conditions related to tree replacement. Trees removed as a result of the proposed project shall be replaced in accordance with all applicable laws, policies, or guidelines, including Section 13.32 of the San José Municipal Code and Policy MS-21.6 of the City General Plan.
- b. Replacement trees shall be provided based on the City's Guidelines for Inventorying, Evaluating, and Mitigating Impacts to Landscaping Trees in the City of San José (City of San José 2006), and as shown in Table 3.4-2. The three nonnative trees that would be removed from the project site shall be replaced at a 1:1 ratio. The species of trees to be planted must be approved by the City Arborist and the Department of Planning, Building and Code Enforcement.

<b>Table 3.4-2 Tree Replacement Ratios</b>				
<b>Circumference of Tree to be Removed</b>	<b>Type of Tree to be Removed</b>			<b>Minimum Size of Each Replacement Tree</b>
	<b>Native</b>	<b>Nonnative</b>	<b>Orchard</b>	
56 inches or more	5:1	4:1	3:1	24-inch box
38 - 56 inches	3:1	2:1	none	24-inch box
Less than 38 inches	1:1	1:1	none	15-gallon container
x:x = tree replacement to tree loss ratio Source: City of San José 2006				

To minimize potential for damage to the tree adjacent to the project site, the tree shall be protected during construction through implementation of the following measures, per San José Municipal Code 13.32.130:

- Damage to any tree during construction shall be reported to the City’s Environmental Principal Planner, and the contractor or owner shall treat the tree for damage in the manner specified by the Environmental Principal Planner.
- Drains shall be installed according to city specifications so as to avoid harm to trees due to excess watering; and
- Wherever cuts are made in the ground near the roots of trees, appropriate measures shall be taken to prevent exposed soil from drying out and causing damage to tree roots.

**22. Cultural Resources Standard Project Conditions.**

- a. Consistent with *Envision San José 2040 General Plan* policies ER-10.2 and ER-10.3, the following standard permit conditions are included in the project and shall be implemented by the project applicant to reduce or avoid impacts to subsurface cultural resources and human remains.
  - 1) In the event that prehistoric or historic resources are encountered during excavation and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped, the Director of Planning, Building and Code Enforcement shall be notified, and the archaeologist will examine the find and make appropriate recommendations prior to issuance of building permits. Recommendations could include collection, recordation, and analysis of any significant cultural materials. A report of findings documenting any data recovery during monitoring shall be submitted to the Director of Planning, Building and Code Enforcement.

- 2) In the event that human remains are discovered during excavation and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped. The Santa Clara County Coroner shall be notified to make a determination as to whether the remains are of Native American origin or whether an investigation into the cause of death is required. If the remains are determined to be Native American, the Coroner will notify the Native American Heritage Commission (NAHC) immediately. Once the NAHC identifies the most likely descendants, the descendants will make recommendations regarding proper burial, which shall be implemented in accordance with CCR Section 15064.5(e) of the State CEQA Guidelines.

### **23. Geology and Soils Standard Project Conditions.**

- a. To minimize potential damage from seismic shaking, the project shall be built using standard engineering and seismic safety design techniques. Building design and construction on the site shall be completed in conformance with the recommendations of a design-level geotechnical investigation, and shall be included in a report to the City. The structural designs for the proposed project shall account for repeatable horizontal ground accelerations. The report shall be reviewed and approved by the City of San José's Building Division as part of the building permit review and issuance process. The buildings shall meet the requirements of applicable Building and Fire Codes, including Chapter 16, Section 1613 of the California Building Standards Code (Title 24, California Code of Regulations), as adopted or updated by the City. The proposed project shall be designed to withstand soil hazards identified on the project site, and the proposed project shall be designed to reduce the risk to life or property to the extent feasible and in compliance with the California Building Standards Code.
- b. The proposed project shall be constructed in accordance with the standard engineering practices in the California Building Standards Code (Title 24, California Code of Regulations), as adopted by the City of San José. In addition, a grading permit shall be obtained from the City of San José Department of Public Works before the issuance of a Public Works Clearance. These standard practices shall ensure that any future building on the site is designed properly to account for the expansive soil conditions and the potential for construction-related erosion on the site.
- c. The proposed project shall conform to the recommendations in engineering reports, including excavation for exposed subgrade within the building pad areas (i.e., footing, slabs system, and 5 feet beyond) to a minimum depth of 4 feet below bottom of footing elevation, or 5 feet below existing site grade, whichever is deeper, along with other site-specific recommendations contained in the geotechnical report prepared by Salem Engineering Group (2014). In addition, the project applicant shall prepare and implement an Erosion Control Plan in conformance with the requirements of the City of San José Department of Public

Works. These practices shall ensure that any future building on the site is designed properly, to account for the expansive soil conditions and the potential for construction-related erosion on the site.

- d. To avoid or minimize potential damage from unstable soils, all project structures shall be built using standard engineering and seismic safety design techniques. Building design and construction at the site shall be completed in conformance with the recommendations of a design-level geotechnical investigation, which shall be included in a report to the City. The report will be reviewed and approved by the City of San José's Building Division as part of the building permit review and issuance process. The buildings shall meet the requirements of applicable Building and Fire Codes, including Chapter 16, Section 1613 of the California Building Standards Code (Title 24, California Code of Regulations), as adopted or updated by the City. The proposed project shall be designed to withstand soil hazards identified on the project site and to reduce the risk to life or property to the extent feasible and in compliance with the California Building Standards Code.

#### **24. Hazards and Hazardous Materials Standard Project Conditions.**

- e. As a part of the development permit approval, the project shall conform to the following conditions:
  - 1) All potentially friable asbestos-containing materials (ACM) shall be removed in accordance with National Emissions Standards for Hazardous Air Pollutants guidelines before building demolition or renovation that may disturb the materials. All demolition activities shall be undertaken in accordance with California Occupational Health and Safety Administration (Cal/OSHA) standards, contained in Title 8, Section 1529 of the California Code of Regulations (CCR), to protect workers from exposure to asbestos. Materials containing more than 1 percent asbestos also shall be subject to BAAQMD regulations.
  - 2) During demolition activities, all building materials containing lead-based paint shall be removed in accordance with Cal/OSHA Lead in Construction Standard (Title 8, CCR Section 1532.1), including employee training, employee air monitoring, and dust control. Any debris or soil that contains lead-based paint or coatings shall be disposed at an appropriately permitted landfill.
  - 3) During demolition activities, fluorescent light ballasts shall be examined for date of manufacture. Any ballast manufactured prior to 1975 shall be assumed to contain polychlorinated byphenols (PCBs) and shall be disposed at any appropriately permitted landfill, in accordance with federal, State, and local regulations.

#### **25. Hydrology Standard Project Conditions.**

a. Construction Measures.

- 1) Any construction or demolition activity that results in land disturbance equal to or greater than 1 acre must comply with the Construction General Permit (CGP), administered by the State Water Resources Control Board (SWRCB). The CGP requires implementation and maintenance of best management practices (BMPs) to protect water quality until the site is stabilized. The project is expected to require CGP coverage based on the area of land disturbed.
- 2) Before the start of any clearing, grading or excavation, the project must comply with the State Water Resources Control Board's NPDES Construction General Permit, as follows:
  - (i) The project applicant shall file a Notice of Intent (NOI) with the SWRCB.
  - (ii) The project applicant shall develop, implement and maintain a Storm Water Pollution Prevention Plan (SWPPP) to control and reduce the discharge of stormwater pollutants, including erosion and sediments associated with construction activities. The SWPPP must identify current construction-period BMPs, as described in the California Stormwater Quality Association Construction BMP Handbook (August 2011).
  - (iii) Before issuance of a grading permit, the project applicant shall submit an Erosion Control Plan to the City of San José Department of Public Works. The Erosion Control Plan shall include BMPs as directed by the C.3 Stormwater Handbook (SCVURPPP 2012) to reduce impacts on the City's storm drainage system from project construction activities.
- 3) The project applicant shall comply with the City of San José Grading Ordinance, including erosion and dust control during site preparation, and with the City of San José Zoning Ordinance requirements for keeping adjacent streets free of dirt and mud during project construction. The following specific BMPs shall be implemented to prevent stormwater pollution and minimize potential sedimentation during project construction:
  - (i) Restrict grading to the dry season (April 30 through October 1) or meet City requirements for grading during the rainy season;
  - (ii) Use on-site sediment control BMPs to retain sediment on the project site;
  - (iii) Use stabilized construction entrances and/or wash racks;
  - (iv) Implement damp street sweeping;
  - (v) Provide temporary cover of disturbed surfaces to help control erosion during construction; and
  - (vi) Provide permanent cover to stabilize the disturbed surfaces after construction has been completed.

b. Post construction

- (i) The project will comply with applicable provisions of the following City of San José Policies: Policy 6-29 Post-Construction Urban Runoff Management; and Policy 8-14 Post-Construction Hydromodification Management.
- (ii) Details of specific site design, pollutant source control, stormwater treatment control measures, and operation and maintenance guidelines demonstrating compliance with Provision C.3 of the San Francisco Bay Region Municipal Regional Stormwater NPDES Permit (NPDES Permit Number CAS612008) will be included in the project design, as required by the City of San José Planning Department.

**26. Noise Standard Project Conditions.**

- a. Consistent with the Envision San José 2040 General Plan Policies EC-1.1 AND EC-1.2, the project shall meet the following conditions.
  - 1) In order to meet the City's standard of 45 dBA DNL for interior noise levels in residences, hotels, motels, residential care facilities, and hospitals, the project shall include appropriate site and building design, building construction, and noise attenuation techniques for new development.
  - 2) In order to meet the City's standard of 60 dBA DNL or more for exterior noise levels, an acoustical analysis following protocols in the City-adopted California Building Code shall be performed to demonstrate that the project can meet this standard. The acoustical analysis shall base required noise attenuation techniques on expected Envision General Plan traffic volumes to ensure land use compatibility and General Plan consistency over the life of this plan. A design-level acoustical analysis shall be completed at the building permit stage as a routine step, in conformance with the Building Code, to document the noise attenuation measures necessary to reduce interior noise to 45 dBA DNL or lower prior to the issuance of building permits.
- b. The City's Municipal Code limits construction hours near residential land uses, and Policy EC-1.7 in the Envision San José 2040 General Plan addresses the types of construction equipment that are sources of significant noise. The following measures shall be implemented to reduce construction noise and vibration levels consistent with the City of San José policy:
  - 1) Construction hours within 500 feet of residential uses shall be limited to the hours of 7 a.m. and 7 p.m. weekdays, with no construction on weekends or holidays.
  - 2) Utilize 'quiet' models of air compressors and other stationary noise sources where technology exists.

- 3) Equip all internal combustion engine-driven equipment with mufflers, which are in good condition and appropriate for the equipment;
- 4) Locate all stationary noise-generating equipment, such as air compressors and portable power generators, as far away as possible from adjacent land uses;
- 5) Locate staging areas and construction material areas as far away as possible from adjacent land uses;
- 6) Prohibit all unnecessary idling of internal combustion engines;
- 7) The project applicant shall prepare a detailed construction plan identifying a schedule of major noise generating construction activities. This plan shall identify a noise control 'disturbance coordinator' and procedure for coordination with the adjacent noise sensitive facilities so that construction activities can be scheduled to minimize noise disturbance. This plan shall be made publicly available for interested community members.
- 8) The disturbance coordinator shall be responsible for responding to any local complaints about construction noise. The disturbance coordinator shall determine the cause of the noise complaint (e.g. starting too early, bad muffler, etc.) and shall require that reasonable measures warranted to correct the problem be implemented. The telephone number for the disturbance coordinator at the construction site shall be posted and included in the notice sent to neighbors regarding the construction schedule.

**27. Revocation, Suspension, Modification.** This Conditional Use Permit may be revoked, suspended or modified by the Planning Commission, or the City Council on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing in accordance with Part 2, Chapter 20.100, Title 20 of the San José Municipal Code it finds:

- a. A violation of any conditions of the Conditional Use Permit was not abated, corrected or rectified within the time specified on the notice of violation; or
- b. A violation of any City ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation; or
- c. The use as presently conducted creates a nuisance.

In accordance with the findings set forth above, a permit to use the subject property for said purpose specified above is hereby approved.

**ADOPTED** and issued this \_\_\_ day of \_\_\_\_\_ 2016, by the following vote:

**AYES:**

NOES:

ABSENT:

DISQUALIFIED:

---

SAM LICCARDO  
MAYOR

ATTEST:

---

TONI J. TABER, CMC  
CITY CLERK

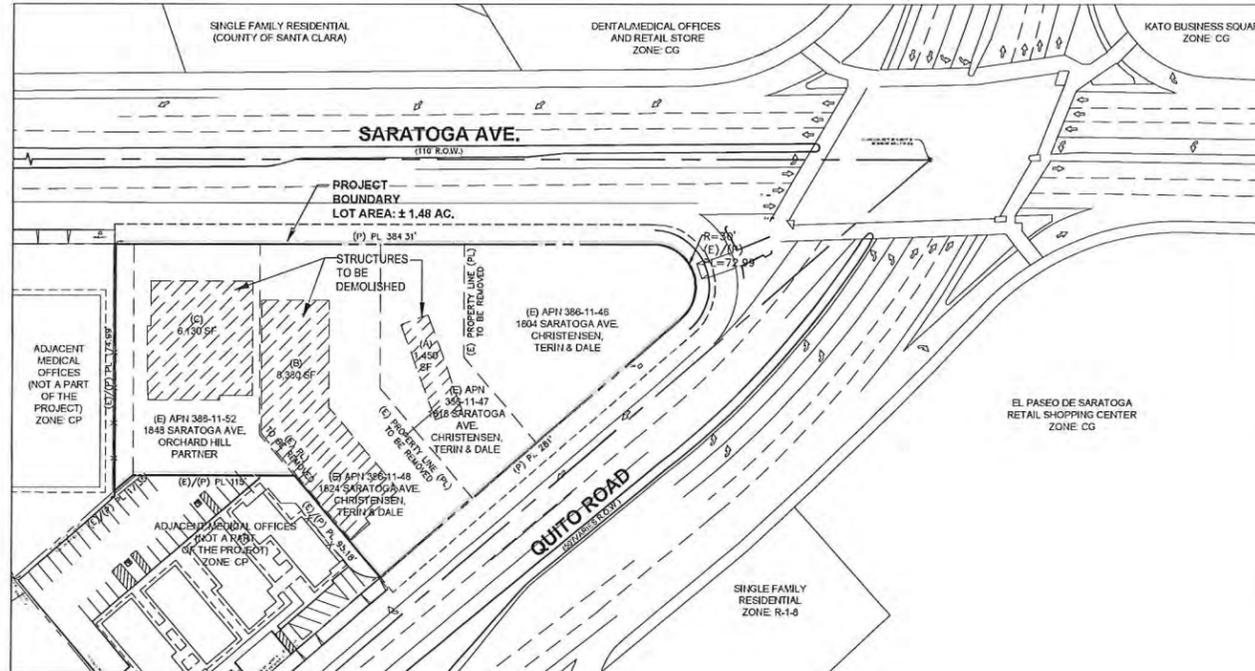
NOTICE TO PARTIES

*The time within which judicial review must be sought to review this decision is governed by the provisions of the California Code of Civil Procedure Section 1094.6.*

# APPLICATION FOR REZONE, CONDITIONAL USE PERMIT, & LOT LINE ADJUSTMENT

## PROPOSED CVS PHARMACY #9498

**1804, 1818, 1824, 1848 SARATOGA AVE. (SWC QUITO RD.)**  
**CITY OF SAN JOSE, SANTA CLARA COUNTY, CALIFORNIA**  
 FEBRUARY 19, 2015 (UPDATED JULY 22, 2015; SEPTEMBER 23, 2015)



**VICINITY MAP**  
NOT TO SCALE

**PROJECT BOUNDARY**  
SCALE 1" = 50'

**PROJECT SUMMARY:**

APNs: 386-11-46, 47, 48, & 52  
 ADDRESS: 1804, 1818, 1824 AND 1848 SARATOGA AVENUE  
 GENERAL PLAN: NEIGHBORHOOD/COMMUNITY COMMERCIAL  
 ZONING DISTRICT:  
 EXISTING - CP COMMERCIAL PEDESTRIAN  
 PROPOSED - CH COMMERCIAL NEIGHBORHOOD

**BUILDING AREA SUMMARY:**

LAND USES	(E) EXISTING/NET(85%)	(P) PROPOSED/NET(85%)
(E) ROSE DONUTS & CAFE(A)	1,450 SF / 1,233	-
(E) RADIO SHACK/WNE RETAIL/PIZZA(B)	8,380 SF / 7,123	-
(E) VACANT COMMERCIAL SPACE(C)	6,130 SF / 5,210	-
(P) CVS PHARMACY	-	14,700 / 12,377
<b>TOTAL:</b>	<b>15,960 SF / 13,566</b>	<b>14,700 / 12,377 SF</b>

**PARCEL SUMMARY:**

LOT #/APN	LAND USES	(E) EXISTING	(P) PROPOSED
(E) 386-11-46	PREVIOUS GAS STATION	15,921 SF	-
(E) 386-11-47	DONUT SHOP	10,933 SF	-
(E) 386-11-48	VARIOUS RETAIL	20,392 SF	-
(E) 386-11-52	MEDICAL OFFICE	17,327 SF	-
(P) LOT 1	CVS PHARMACY	-	64,573 SF
<b>TOTAL:</b>		<b>64,573 SF</b>	<b>64,573 SF</b>

**PARKING SUMMARY:**

EXISTING	44 STALLS (TO BE REMOVED)
REQUIRED FOR CVS (14,700 SF X 85% GSF/200 SF)	62 STALLS
PROVIDED:	64 STALLS
STANDARD	60
HANDICAP	4
VEHICULAR (1/200 SF)	5 STALLS
BICYCLE (1/3000)	5 STALLS

**PROPOSED SITE COVERAGE:**

DESCRIPTION	AREA	%
CVS PHARMACY STORE:	14,700 SF	22.8
SIDEWALK:	1,698 SF	2.6
OFF-STREET PARKING AND LOADING:	36,656 SF	56.8
LANDSCAPING:	11,519 SF	17.8
<b>TOTAL</b>	<b>64,573 SF</b>	<b>100</b>

**PROJECT DESCRIPTION:**

PROJECT WILL MERGE 4 COMMERCIAL PARCELS INTO A SINGLE LOT FOR THE DEVELOPMENT OF A 14,700 S.F. CVS PHARMACY RETAIL STORE WITH DRIVE-THRU WINDOW. CVS WILL OPERATE 24 HOURS A DAY AND SELL ALCOHOL FOR OFF-SITE CONSUMPTION.

ALL EXISTING STRUCTURES WILL BE DEMOLISHED.

ON-SITE IMPROVEMENTS INCLUDE:  
 NEW PARKING LOT, LANDSCAPE AREAS (WITH STORMWATER TREATMENT BIOSWALES), PARKING LOT LIGHTS, TRASH ENCLOSURES, SITE SIGNAGES AND NEW ACCESS DRIVEWAY LOCATIONS ON BOTH STREET FRONTAGES.

ENTITLEMENTS REQUESTED:  
 1. REZONE FROM CP TO CH  
 2. CONDITIONAL USE PERMIT (CUP) - FOR DRIVE-THRU WINDOW USE, 24-HR. USE, AND ALCOHOL SALES.  
 3. LOT LINE ADJUSTMENT - TO COMBINE 4 PARCELS TO 1.

**SHEET INDEX:**

- P-0 TITLE SHEET
- P-1 PRELIMINARY SITE PLAN
- P-2 PRELIMINARY GRADING PLAN
- P-2A BIORETENTION MANAGEMENT PLAN
- P-3 PRELIMINARY STORM WATER CONTROL PLAN
- P-3A IMPERVIOUS SURFACE CALCULATIONS
- P-4 BUILDING EXTERIOR ELEVATIONS
- P-5 FLOOR PLAN
- P-6.1 PRELIMINARY PLANTING PLAN
- P-6.2 LANDSCAPE DETAILS & NOTES
- P-7 PHOTOMETRIC SITE PLAN
- P-8 SITE DETAIL SHEET
- P-9 SIGN EXHIBIT
- P-10 WINDOW GRAPHICS EXHIBIT
- P-11 WINDOW GRAPHICS EXHIBIT - ELEVATIONS
- P-12 WINDOW GRAPHICS EXHIBIT - GLAZING SECTION
- P-13 DISTANCE EXHIBIT

**LEGAL DESCRIPTION:**

ALL THAT CERTAIN REAL PROPERTY IN THE CITY OF SAN JOSE, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:

BEGINNING AT A POINT ON THE WESTERLY LINE OF QUITO ROAD (50.00 FEET IN WIDTH) DISTANT THEREON SOUTH 1°36' EAST 231.46 FEET FROM THE POINT OF INTERSECTION THEREOF WITH THE SOUTHEASTERLY LINE OF SARATOGA AVENUE (100.00 FEET IN WIDTH) AS SAID ROAD AND AVENUE ARE SHOWN UPON THAT CERTAIN MAP ENTITLED, "TRACT NO. 669 EL QUITO PARK", WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON NOVEMBER 14, 1949 IN BOOK 24 OF MAPS AT PAGES 43, 44 AND 45; THENCE FROM SAID POINT OF BEGINNING NORTH 1°36' WEST ALONG THE SAID WESTERLY LINE OF QUITO ROAD 135.00 FEET; THENCE NORTHERLY, WESTERLY AND SOUTHERLY ALONG THE ARC OF A CURVE TO THE LEFT, TANGENT TO THE PRECEDING COURSE, WITH A RADIUS OF 30.00 FEET, THROUGH A CENTRAL ANGLE OF 139°23'45", FOR AN ARC DISTANCE OF 72.99 FEET TO A POINT ON A LINE WHICH IS PARALLEL WITH AND DISTANT SOUTHEASTERLY 10.00 FEET AT RIGHT ANGLES FROM SAID SOUTHEASTERLY LINE OF SARATOGA AVENUE; THENCE SOUTH 39°00'15" WEST ALONG SAID PARALLEL LINE 135.00 FEET; THENCE AT RIGHT ANGLES SOUTH 50°59'45" EAST 80.00 FEET TO A POINT WHICH BEARS SOUTH 88°24' WEST FROM THE POINT OF BEGINNING; THENCE NORTH 88°24' EAST 80.00 FEET MORE OR LESS, TO THE POINT OF BEGINNING.

PARCEL TWO:

ALL OF PARCEL A AS SHOWN UPON THAT CERTAIN MAP ENTITLED, "RECORD OF SURVEY, PORTION OF LOT 14 SCOROSIS FARM SUBDIVISION", WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON MARCH 23, 1959 IN BOOK 104 OF MAPS AT PAGE 6.

PARCEL THREE:

PARCEL 2, AS SHOWN ON THAT CERTAIN MAP ENTITLED "PARCEL MAP BEING A PORTION OF LANDS OF J.A. BURKET LYING IN THE CITY OF SAN JOSE, CALIFORNIA", WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA ON JUNE 19, 1972, IN BOOK 303 OF MAPS AT PAGE 25.

APN: 386-11-046, 047, 048 AND 052

**CONTACT INFORMATION:**

PROPERTY OWNER : GEOFFREY A. FARRAR  
 SHIRLEY MARIE FARRAR  
 MAIN & MAIN PROPERTIES  
 2550 LAKEWEST DR., 350  
 CHICO, CA 95828

TERIN A. CHRISTENSEN  
 DANE VAL CHRISTENSEN  
 2202 VISTA GRANDE ST.  
 DANVILLE, CA 94526

BARBARA SPRENGER  
 ORCHARD HILLS PARTNERS  
 330 ORCHARD DR.  
 FELTON, CA 95018

DEVELOPER : ARMSTRONG DEVELOPMENT PROPERTIES  
 2400 DEL PASO ROAD, SUITE 140  
 SACRAMENTO, CA 95834  
 CONTACT: JOSH EISENHUT  
 (916) 643-9610 X 1104

CIVIL ENGINEER : TAIT & ASSOCIATES, INC.  
 11280 TRADE CENTER DRIVE  
 RANCHO CORDOVA, CA 95742  
 CONTACT: AMY DY  
 (916) 669-1816

ARCHITECT : JACOBS  
 10550 20TH STREET, SUITE 200  
 SACRAMENTO, CA 95811  
 CONTACT: YARED TESSEMA  
 (916) 273-5455

NON-PROTOTYPICAL  
 14,700 S.F.  
 STORE NUMBER: RELO. #9498  
 SWC SARATOGA AVENUE & QUITO ROAD  
 SAN JOSE, CA  
 PROJECT TYPE:  
 DEAL TYPE:  
 CS PROJECT NUMBER: 78075

DEVELOPER:  
  
 ARMSTRONG DEVELOPMENT PROPERTIES, INC.  
 2400 DEL PASO ROAD, SUITE 140  
 SACRAMENTO, CA 95834  
 TEL (916) 643-9610  
 FAX (916) 643-9613

CIVIL ENGINEER:  
  
 TAIT & ASSOCIATES, INC.  
 11280 Trade Center Drive  
 Rancho Cordova, CA 95742  
 (916) 635-2444  
 www.tait.com  
 Los Angeles Boise  
 Rancho Cucamonga Dallas  
 Sacramento Denver  
 North Dakota Seattle

**CONSULTANT:**

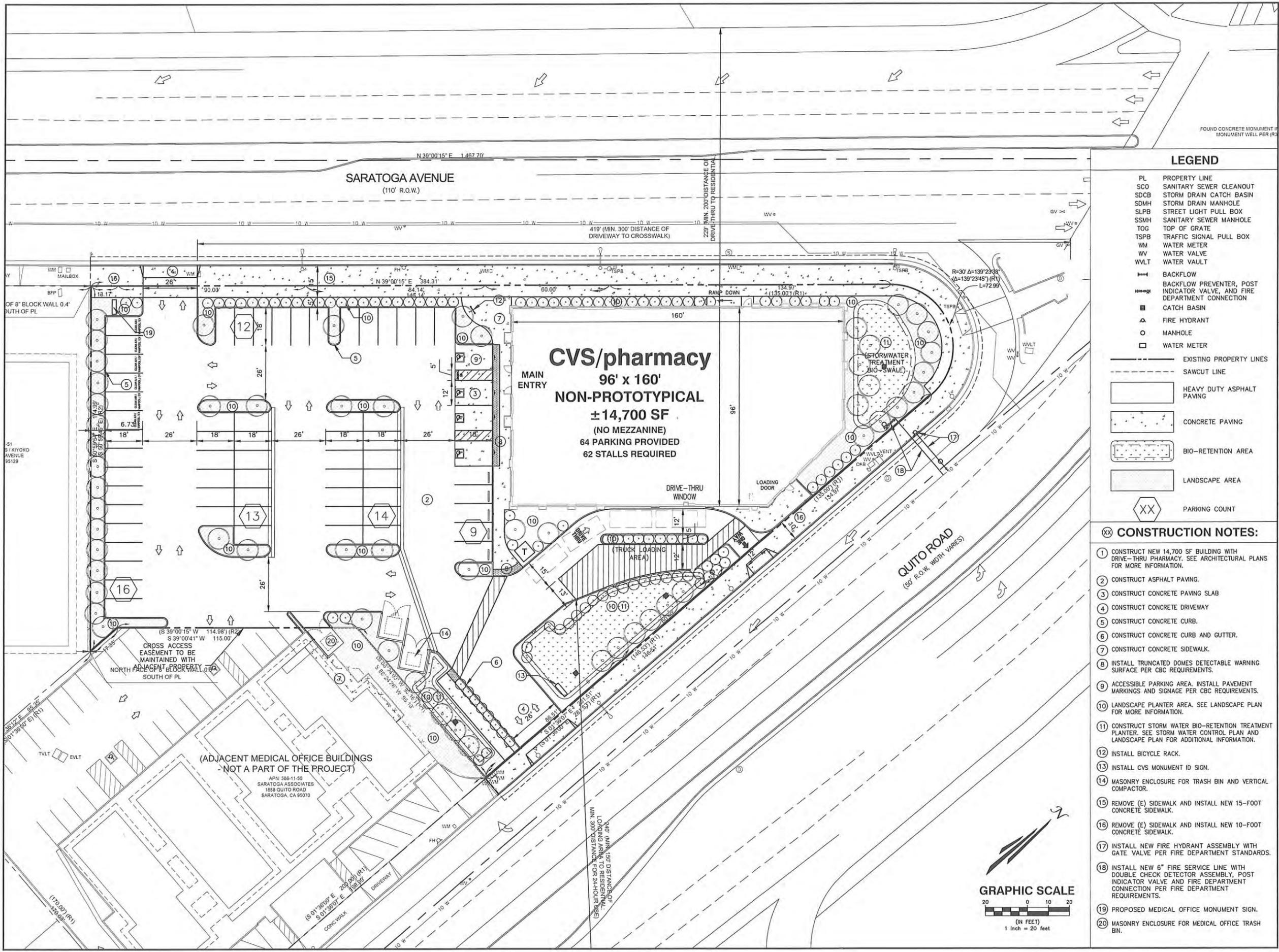
**SEAL:**



**REVISIONS:**

3 REV. PER CITY COMMENTS	4/26/2016
2 REV. PER CITY COMMENTS	9/23/2015
1 REV. PER CITY COMMENTS	7/22/2015

DRAWING BY: AD  
 DATE: 2/19/2015  
 JOB NUMBER: CVS1811  
 TITLE: TITLE SHEET  
 SHEET NUMBER: P-0  
 COMMENTS:  
 C15-008/CP15-014 (3rd SUBMITTAL)



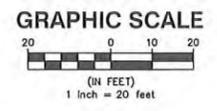
**CVS/pharmacy**  
 96' x 160'  
 NON-PROTOTYPICAL  
 ± 14,700 SF  
 (NO MEZZANINE)  
 64 PARKING PROVIDED  
 62 STALLS REQUIRED

**LEGEND**

- PL PROPERTY LINE
- SCO SANITARY SEWER CLEANOUT
- SDCB STORM DRAIN CATCH BASIN
- SDMH STORM DRAIN MANHOLE
- SLPB STREET LIGHT PULL BOX
- SSMH SANITARY SEWER MANHOLE
- TOG TOP OF GRATE
- TSPB TRAFFIC SIGNAL PULL BOX
- WM WATER METER
- WV WATER VALVE
- WWT WATER VAULT
- BACKFLOW BACKFLOW PREVENTER, POST INDICATOR VALVE, AND FIRE DEPARTMENT CONNECTION
- CATCH BASIN
- FIRE HYDRANT
- MANHOLE
- WATER METER
- EXISTING PROPERTY LINES
- SAWCUT LINE
- HEAVY DUTY ASPHALT PAVING
- CONCRETE PAVING
- BIO-RETENTION AREA
- LANDSCAPE AREA
- PARKING COUNT

**CONSTRUCTION NOTES:**

- 1 CONSTRUCT NEW 14,700 SF BUILDING WITH DRIVE-THRU PHARMACY. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
- 2 CONSTRUCT ASPHALT PAVING.
- 3 CONSTRUCT CONCRETE PAVING SLAB
- 4 CONSTRUCT CONCRETE DRIVEWAY
- 5 CONSTRUCT CONCRETE CURB.
- 6 CONSTRUCT CONCRETE CURB AND GUTTER.
- 7 CONSTRUCT CONCRETE SIDEWALK.
- 8 INSTALL TRUNCATED DOWNS DETECTABLE WARNING SURFACE PER CBC REQUIREMENTS.
- 9 ACCESSIBLE PARKING AREA. INSTALL PAVEMENT MARKINGS AND SIGNAGE PER CBC REQUIREMENTS.
- 10 LANDSCAPE PLANTER AREA. SEE LANDSCAPE PLAN FOR MORE INFORMATION.
- 11 CONSTRUCT STORM WATER BIO-RETENTION TREATMENT PLANTER. SEE STORM WATER CONTROL PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- 12 INSTALL BICYCLE RACK.
- 13 INSTALL CVS MONUMENT ID SIGN.
- 14 MASONRY ENCLOSURE FOR TRASH BIN AND VERTICAL COMPACTOR.
- 15 REMOVE (E) SIDEWALK AND INSTALL NEW 15-FOOT CONCRETE SIDEWALK.
- 16 REMOVE (E) SIDEWALK AND INSTALL NEW 10-FOOT CONCRETE SIDEWALK.
- 17 INSTALL NEW FIRE HYDRANT ASSEMBLY WITH GATE VALVE PER FIRE DEPARTMENT STANDARDS.
- 18 INSTALL NEW 8" FIRE SERVICE LINE WITH DOUBLE CHECK DETECTOR ASSEMBLY. POST INDICATOR VALVE AND FIRE DEPARTMENT CONNECTION PER FIRE DEPARTMENT REQUIREMENTS.
- 19 PROPOSED MEDICAL OFFICE MONUMENT SIGN.
- 20 MASONRY ENCLOSURE FOR MEDICAL OFFICE TRASH BIN.



**CVS**  
 pharmacy

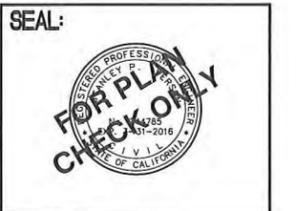
NON-PROTOTYPICAL  
 14,700 S.F.  
 STORE NUMBER: RELO. #9498

SWC SARATOGA AVENUE & QUITO ROAD  
 SAN JOSE, CA  
 PROJECT TYPE  
 DEAL TYPE  
 CS PROJECT NUMBER: 78075

**DEVELOPER:**  
**ARMSTRONG DEVELOPMENT PROPERTIES, INC.**  
 ARMSTRONG DEVELOPMENT PROPERTIES, INC.  
 2400 DEL PASO ROAD, SUITE 140  
 SACRAMENTO, CA 95834  
 TEL (916) 643-9610  
 FAX (916) 643-9613

**CIVIL ENGINEER:**  
**TAIT & ASSOCIATES, INC.**  
 11280 Trade Center Drive  
 Rancho Cordova, CA 95742  
 (916) 635-2444  
 www.tait.com  
 Since 1964  
 Los Angeles      Boise  
 Rancho Cucamonga      Dallas  
 Sacramento      Denver  
 North Dakota      Seattle

**CONSULTANT:**



**REVISIONS:**

4 REV. PER CITY COMMENTS	4/25/16
3 REV. PER CITY COMMENTS	3/28/16
2 REV. PER CITY COMMENTS	9/23/15
1 REV. PER CITY COMMENTS	7/22/15

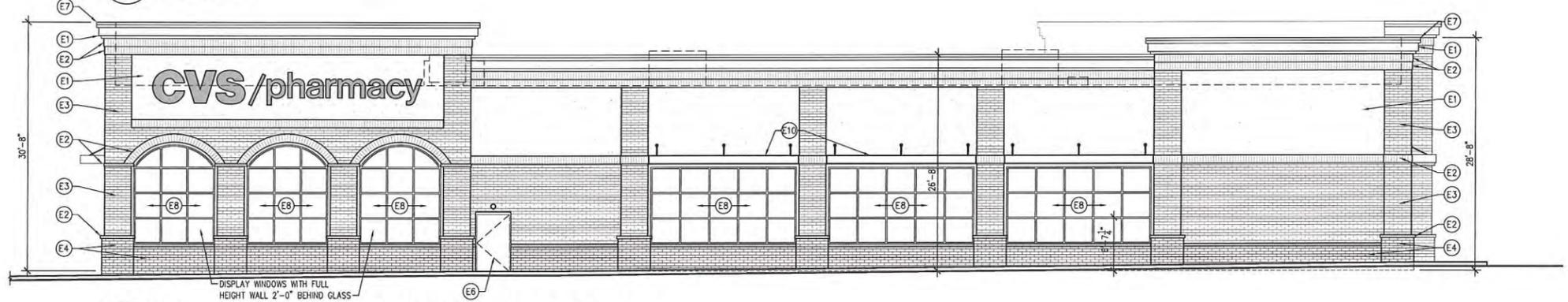
DRAWING BY: AD/STB  
 DATE: 2/19/15  
 JOB NUMBER: CVS1811  
 TITLE: PRELIMINARY SITE PLAN

SHEET NUMBER:  
**P1**  
 COMMENTS:  
 C15-008/CP15-014 (3rd SUBMITTAL)

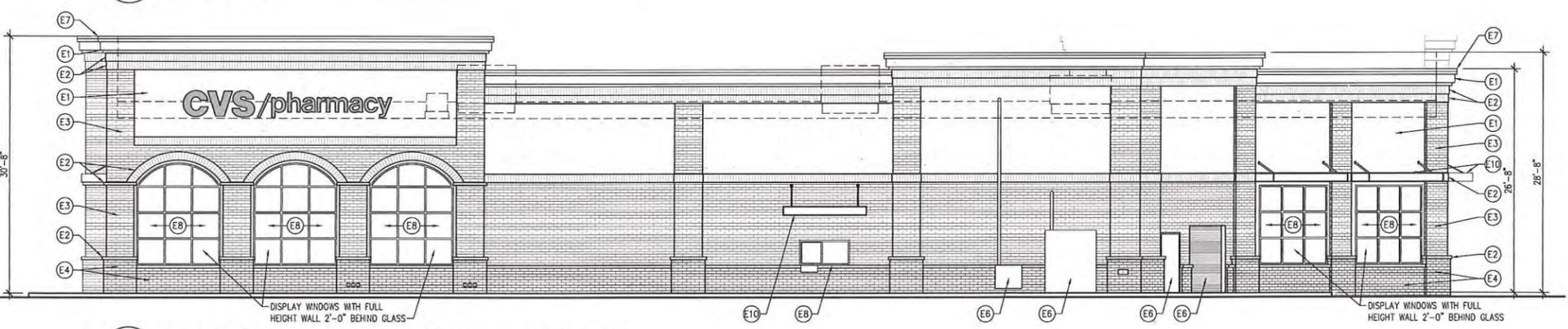
User = Newkirk, Cory G.  
 Date = Wednesday, July 08, 2015 6:21:03 PM  
 Filename = \\F:\MFL\3\Projects\Reliab\Distribution\Active Projects\CVS\California\CA\_SanJose\_09498\_F1W20546\000 Design Deliverables\B03 ENTITLEMENTS\ELEVATIONS\2015-05-13\_SanJose\_Conceptual\_Design\9498CA\_P4A\_07-08-15.dwg



1 WEST (FRONT) ELEVATION  
P-4A SCALE: 1/8" = 1'-0"



2 NORTH (LEFT SIDE) ELEVATION - SARATOGA AVE  
P-4A SCALE: 1/8" = 1'-0"



3 SOUTH (RIGHT SIDE) ELEVATION - QUITO RD  
P-4A SCALE: 1/8" = 1'-0"



4 EAST (REAR) ELEVATION - FACING INTERSECTION  
P-4A SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE					
TAG	MATERIAL / DESCRIPTION	MFR.	STYLE / CAT. NO.	COLOR	NOTES
E1	EIFS - CORNICE & PANELS	STO THERM LOTUSAN	191 STOUT LOTUSAN 1.5	NA01-0048 PALE YELLOW	RE: SPECIFICATION
E2	BRICK - ACCENT (LIGHT)	McNEAR BRICK	MODULAR	SACRAMENTO RUSTIC	NATURAL GRAY MORTAR
E3	BRICK - FIELD (MEDIUM)	McNEAR BRICK	MODULAR	CALAVERAS	NATURAL GRAY MORTAR
E4	BRICK - BASE (DARK)	McNEAR BRICK	MODULAR	OLD MYFORD	NATURAL GRAY MORTAR
E5	BOLLARD COVER	SEE "SITE & STREET FURNISHINGS" SPEC	SEE "SITE & STREET FURNISHINGS" SPEC	YELLOW	TYP FOR ALL PIPE BOLLARDS (UN)
E6	PAINT - DOORS & FRAMES	BENJAMIN MOORE		PAINT TO MATCH BRICK "E4"	
E7	PREFINISHED METAL			COLOR TO MATCH EIFS "E1"	METAL COPING
E8	ALUM STOREFRONT	SEE SPECS	SEE SPECS	CLEAR ANODIZED	
E9	ALUM AUTOMATIC DOOR	STANLEY	SEE SPECS	CLEAR ANODIZED	
E10	PRE-FABRICATED CANOPY	MAPES ARCHITECTURAL CANOPIES	SEE SPECS	CLEAR ANODIZED	

LEGEND

- (X) - RE: EXTERIOR FINISH SCHEDULE
- NOTES:  
 1. SIGNAGE UNDER SEPARATE PERMIT  
 2. ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE LEVEL OF THE LOWEST PARAPET (AS SHOWN)



CALIFORNIA 12900-RIGHT CHAMFER DRIVE-THRU

STORE NUMBER: 09498  
 SWC SARATOGA AVE & QUITO RD  
 SAN JOSE, CA  
 PROJECT TYPE: RELOCATION  
 DEAL TYPE: FFS/GROUNDEASE

CS PROJECT NUMBER: 78075

ARCHITECT OF RECORD

**JACOBS**  
 JACOBS ENGINEERING GROUP INC.  
 1050 20TH STREET  
 SUITE 200  
 SACRAMENTO, CA 95811  
 TEL (916) 929-3323  
 FAX (916) 929-1772

CONSULTANT:

DEVELOPER:

**ARMSTRONG DEVELOPMENT PROPERTIES, INC.**  
 2400 Del Paso Road  
 Suite 140  
 Sacramento, CA 95834  
 PHONE (916) 643-9610  
 FAX (916) 643-9613

SEAL:



REVISIONS:

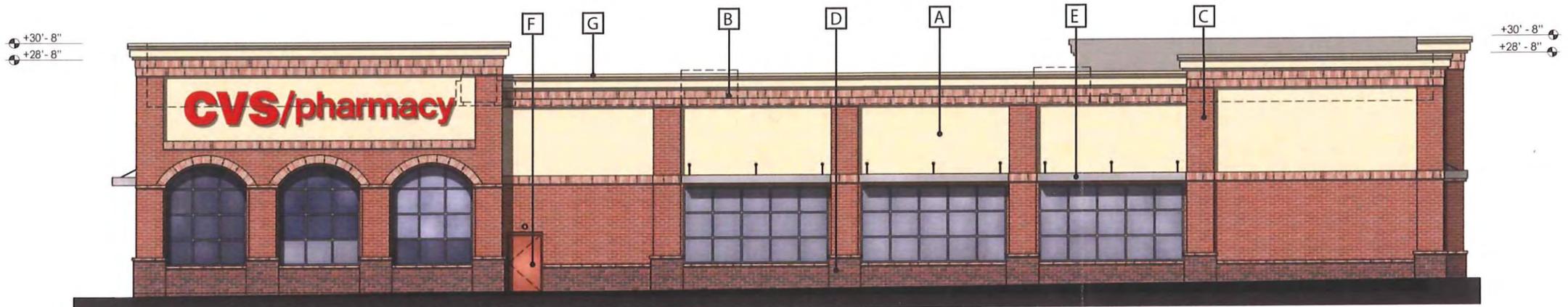
DRAWING BY: CGN  
 DATE: 08 JULY 2015  
 JOB NUMBER: F1W20546  
 TITLE: EXTERIOR ELEVATIONS

SHEET NUMBER:  
 P-4A

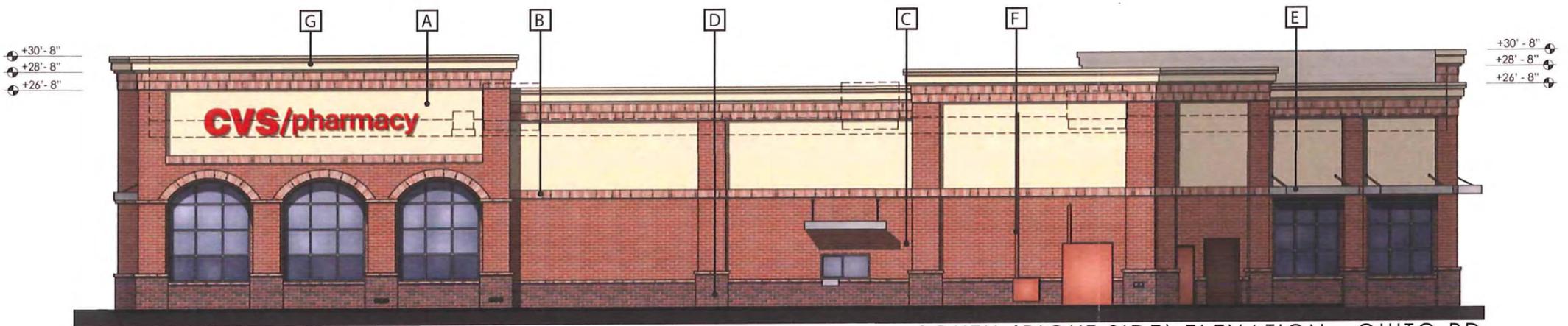
COMMENTS:  
 PLANNING RE-SUBMITTAL - JACOBS



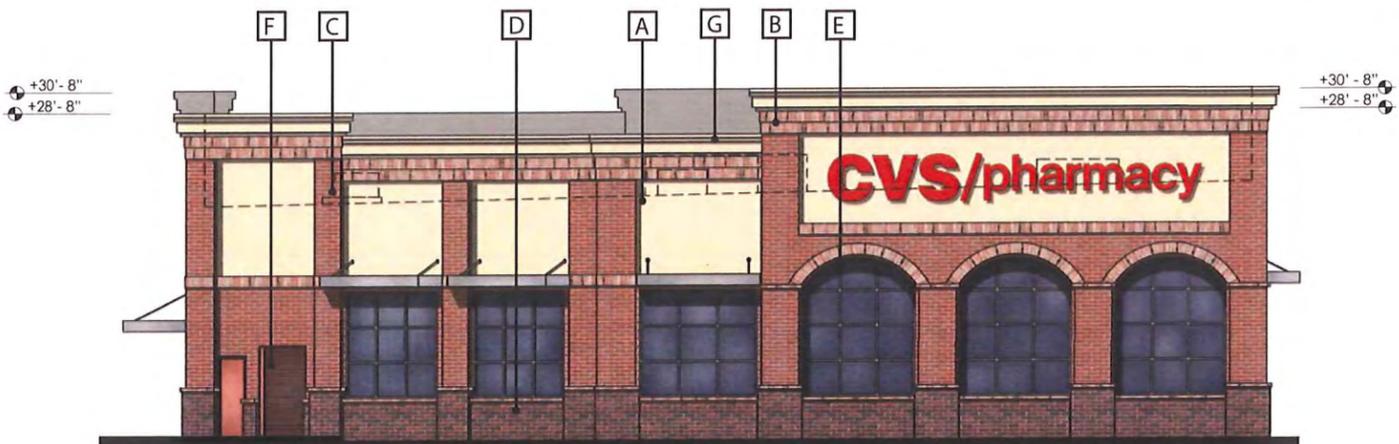
WEST (FRONT) ELEVATION



NORTH (LEFT SIDE) ELEVATION - SARATOGA AVE



SOUTH (RIGHT SIDE) ELEVATION - QUITO RD



EAST (REAR) ELEVATION - FACING INTERSECTION

NOTE:  
DARKER WINDOW AREAS ARE AREAS  
THAT ARE ELIGIBLE FOR WINDOW  
GRAPHICS (2'-0" BEHIND GLAZING).

**CVS/pharmacy**

SWC Saratoga Ave & Quito Rd  
San Jose, Ca

Store Number: 09498  
CS Project Number: 78075

Finish Colors:

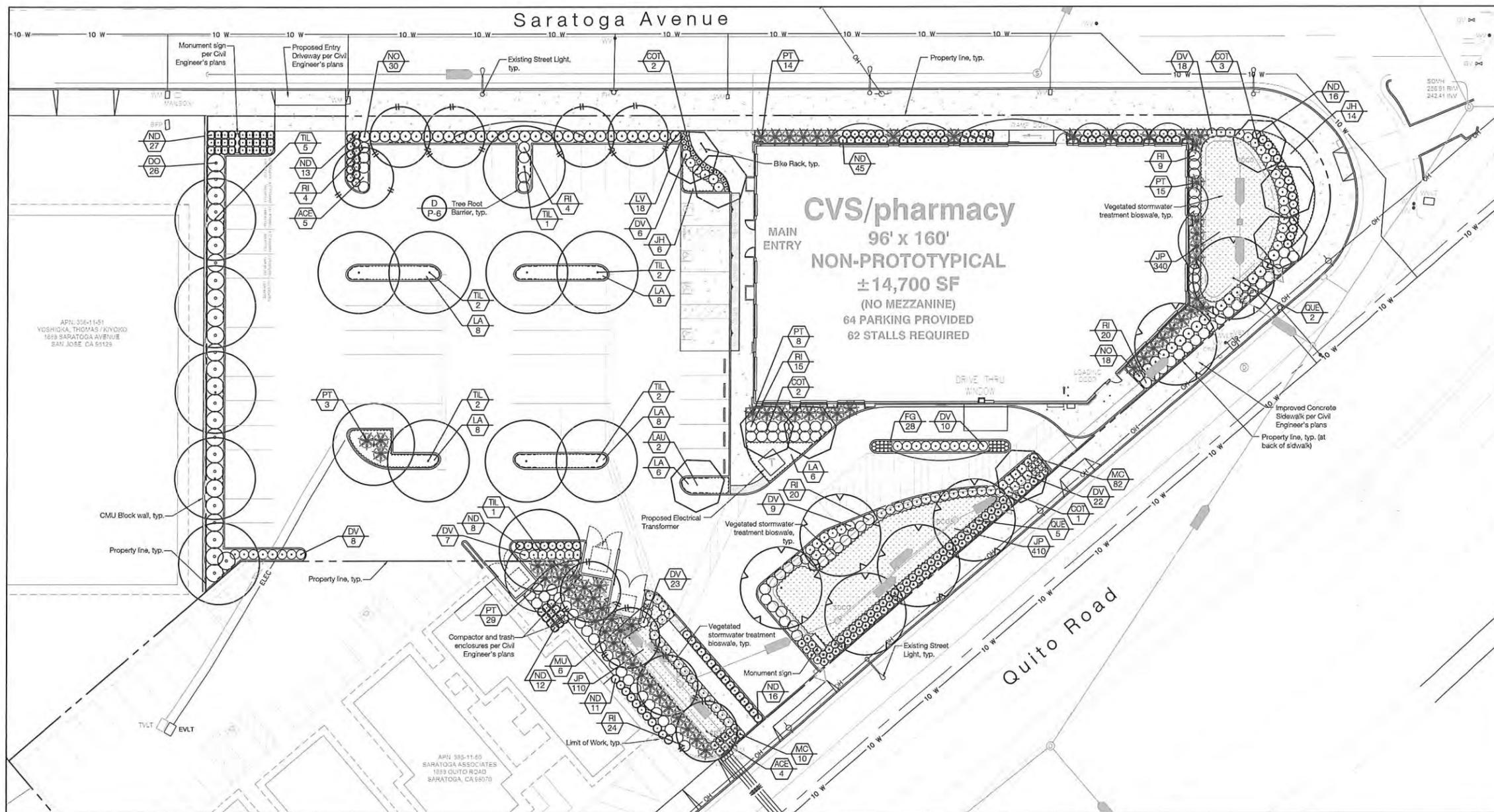
- A** EIFS / STUCCO  
STO NA01-0048  
Pale Yellow
- B** McNear Brick  
Modular  
Sacramento Rustic
- C** McNear Brick  
Modular  
Calaveras
- D** McNear Brick  
Modular  
Old Myford
- E** Storefront System  
Clear Anodized Aluminum
- F** Paint to Match  
Benjamin Moore
- G** Paint to Match  
Benjamin Moore

**RENDERED ELEVATIONS  
& MATERIALS BOARD  
EXHIBIT P-4B  
07-08-2015**

**ARMSTRONG**  
DEVELOPMENT  
PROPERTIES, INC.  
2400 DEL PASO ROAD, SUITE 140  
SACRAMENTO, CA 95834  
TEL (916) 643-9613

**JACOBS**  
1050 20TH STREET, SUITE 200  
SACRAMENTO, CA 95811  
TEL (916) 929-3323



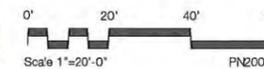


**Tree Legend**

Symb.	Botanical Name	Common Name	Size	Remarks	Wat. Use
<b>Trees</b>					
ACE	<i>Acer mýabei</i> 'Morton'	State Street Maple	24" box	City of San Jose recomm. species	M
COT	<i>Cotinus coggygria</i> 'Royal Purple'	Purple Smoke Tree	24" box	Standards - min. 5' branching height	L
TIL	<i>Tilia tomentosa</i> 'Sterling'	Sterling Silver Linden	24" box	City of San Jose recomm. species	L
QUE	<i>Quercus rubra</i>	Red Oak	24" box	City of San Jose recomm. species	L

**Plant Legend**

Symb.	Botanical Name	Common Name	Size	Remarks	Wat. Use
<b>Shrubs</b>					
FG	<i>Festuca glauca</i> 'Elijah Blue'	Blue Fescue	1 gallon	-	L
DV	<i>Dodonaea viscosa</i> 'Purpurea'	Purple Hopseed Bush	5 gallon	-	L
LV	<i>Lavendula angustifolia</i> 'Hidcote'	Hidcote English Lavender	1 gallon	-	L
MR	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	5 gallon	-	L
ND	<i>Nandina domestica</i> 'Gulf Stream'	Gulf Stream Heavenly Bamboo	5 gallon	-	L
NO	<i>Nerium oleander</i> 'Little Red'	Dwarf Red Oleander	5 gallon	-	L
RI	<i>Rhaphiolepis indica</i> 'Clara'	Indian Hawthorn	5 gallon	-	L
PT	<i>Phormium tenax</i> 'Platt's Black'	New Zealand Flax	5 gallon	-	L
<b>Groundcover &amp; Vines</b>					
JH	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Groundcover Juniper	1 gallon	48" O.C.	L
LA	<i>Lantana</i> 'Chapel Hill Yellow'	Yellow Groundcover Lantana	1 gallon	48" O.C.	L
MU	<i>Macladyena unguis-cati</i>	Cat's Claw Vine	5 gallon	Staked to wall	L
<b>Bioswale Grasses</b>					
JP	<i>Juncus patens</i>	Blue Rush	4" plugs/flatted	24" O.C.	M



**CVS**  
 pharmacy

NON-PROTOTYPICAL

STORE NUMBER: RELO. #9498

SWC SARATOGA AVENUE & QUITO ROAD  
 SAN JOSE, CA

PROJECT TYPE:  
 DEAL TYPE:

CS PROJECT NUMBER: 78075

DEVELOPER:

**ARMSTRONG**  
 DEVELOPMENT  
 PROPERTIES, INC.

ARMSTRONG DEVELOPMENT PROPERTIES, INC.  
 1375 EXPOSITION BLVD., SUITE 101  
 SACRAMENTO, CA 95815  
 TEL (916) 643-9610  
 FAX (916) 643-9613

CIVIL ENGINEER:

**TAIT**  
 11280 Trade Center Drive  
 Rancho Cordova, CA 95742  
 Tel: 916/433-2444 Fax: 916/433-2405  
 www.tait.com

CONSULTANT:

**The HLA Group**  
 Landscape Architects  
 & Planners, Inc.  
 2600 Capitol Avenue, Suite 120  
 Sacramento, California 95816  
 916.447.7400  
 916.447.8270 fax  
 www.hlagroup.com

SEAL:



REVISIONS:

DRAWING BY: SRR

DATE: 04/25/2016

JOB NUMBER: CVS1811

TITLE: PRELIMINARY PLANTING PLAN

SHEET NUMBER:

**P-6.1**

COMMENTS:  
 NOT FOR CONSTRUCTION





CALIFORNIA 12900-RIGHT CHAMFER DRIVE-THRU

STORE NUMBER: 09498  
 SWC SARATOGA AVE & QUITO RD  
 SAN JOSE, CA  
 PROJECT TYPE: RELOCATION  
 DEAL TYPE: FFS/GROUNDLEASE  
 CS PROJECT NUMBER: 78075

ARCHITECT OF RECORD

**JACOBS**  
 JACOBS ENGINEERING GROUP INC.  
 1050 20TH STREET  
 SUITE 200  
 SACRAMENTO, CA 95811  
 TEL (916) 929-3323  
 FAX (916) 929-1772

CONSULTANT:

DEVELOPER:

**ARMSTRONG DEVELOPMENT PROPERTIES, INC.**  
 2400 Del Paso Road  
 Suite 140  
 Sacramento, CA 95834  
 PHONE (916) 643-9610  
 FAX (916) 643-9613

SEAL:

REVISIONS:

DRAWING BY: CGN

DATE: 08 JULY 2015

JOB NUMBER: F1W20546

TITLE: PHOTOMETRIC SITE PLAN

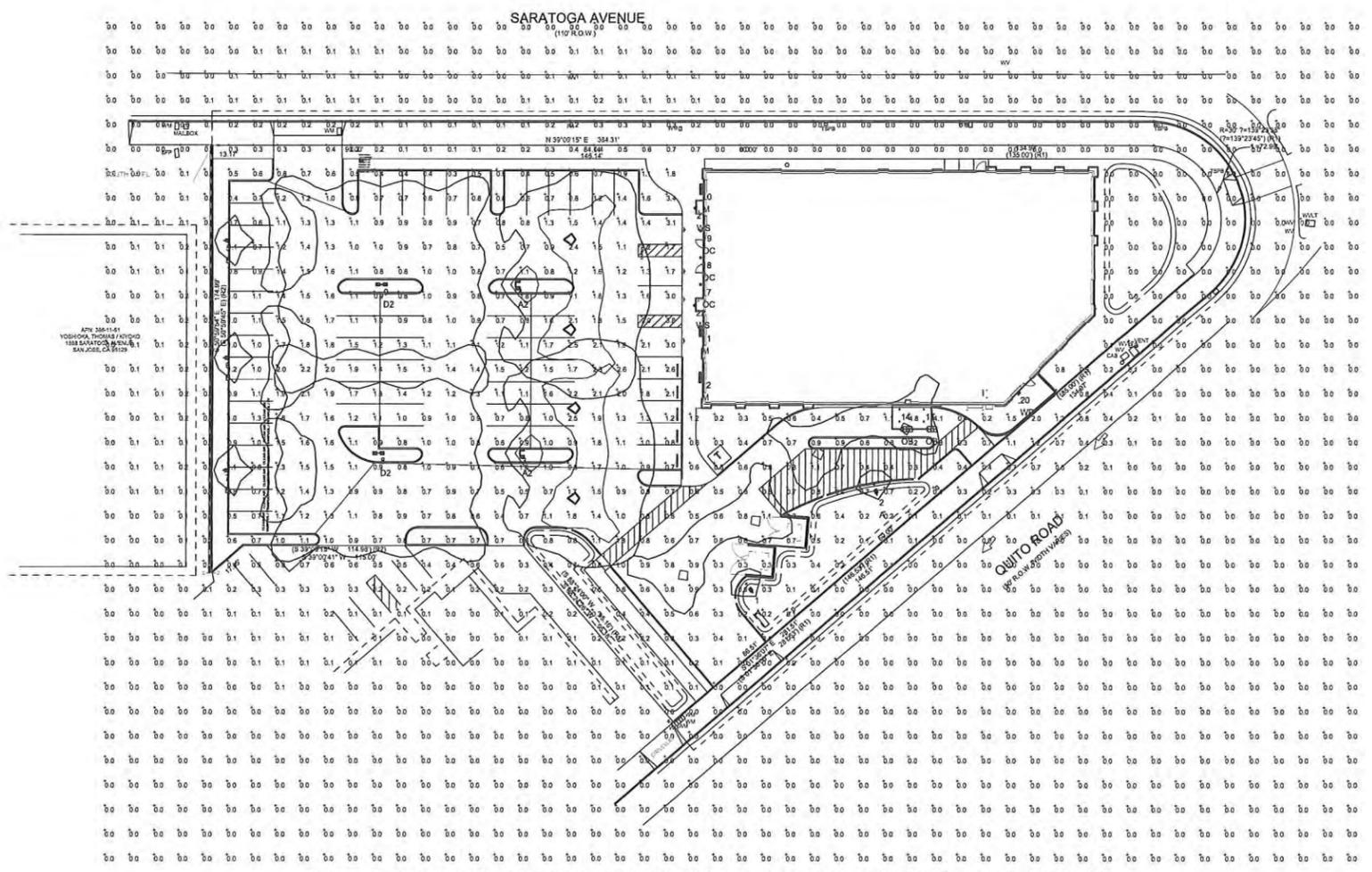
SHEET NUMBER: P-7

COMMENTS: PLANNING RE-SUBMITTAL - JACOBS

HUBBELL IS NOT RESPONSIBLE FOR THE PERFORMANCE OF LUMINAIRE MANUFACTURED BY OTHERS

Symbol	Label	Qty	Description	Arrangement	Lum. Watts	Lum. Lumens	LMF	LDD	BF	LLF
[Symbol]	A	2	CL1-90L-AM-4	SINGLE	75.2	3558	0.950	0.950	1.000	0.903
[Symbol]	A2	2	CL1-90L-AM-4	TWIN	75.2	3558	0.950	0.950	1.000	0.903
[Symbol]	B	3	CL1-90L-AM-3	SINGLE	76.3	3365	0.950	0.950	1.000	0.903
[Symbol]	D2	2	CL1-90L-AM-5M	BACK-BACK	75.5	3596	0.950	0.950	1.000	0.903
[Symbol]	OB	4	PT2013-ED155	SINGLE	19.9	1130	0.950	0.900	1.000	0.855
[Symbol]	OC	3	EVO 41/29 8AR 120	SINGLE	48.8	3108	0.950	0.950	1.000	0.903
[Symbol]	WP	1	DSXW1 LED 10C 1000 40K TFTM MVOLT	SINGLE	40	3065	0.950	0.950	1.000	0.903
[Symbol]	WS	2	AZ-SL-LED75-4K-(2)EJU-BB-CTB-BZ	SINGLE	77.3	5187	0.950	0.950	1.000	0.903
[Symbol]	M	3	FPG4 2 54T5HO B1X20	SINGLE	104.7	5714	0.930	0.900	1.000	0.837

Label	Description	Units	Avg	Max	Min	Avg/Min	Max/Min
CVS PARKING	1.0 FC MINIMUM	Fc	1.28	3.8	0.5	2.56	7.60



POLE SPEC FOR CIMARRON:

SINGLE FIXTURE  
 SSS-XX-XX-X-A2-XX

TWIN FIXTURE 180 DEGREE APART  
 SSS-XX-XX-X-C2-XX

\* Z = LUMINAIRE MOUNTING HEIGHT A.F.G.

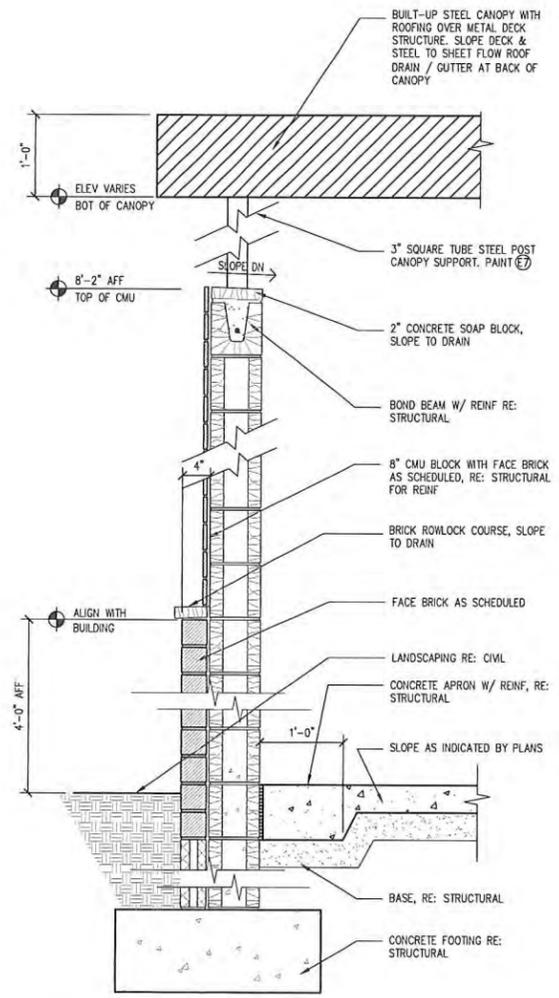
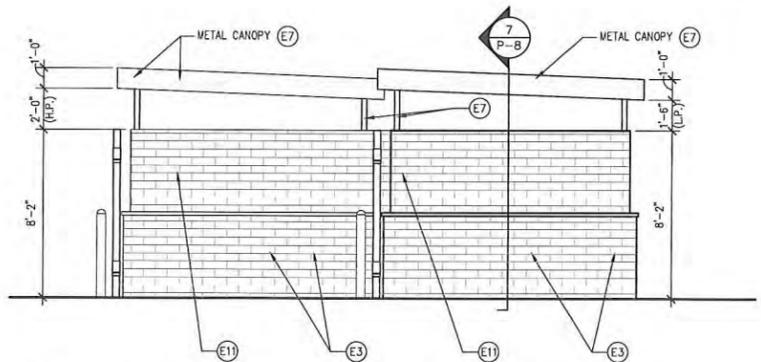
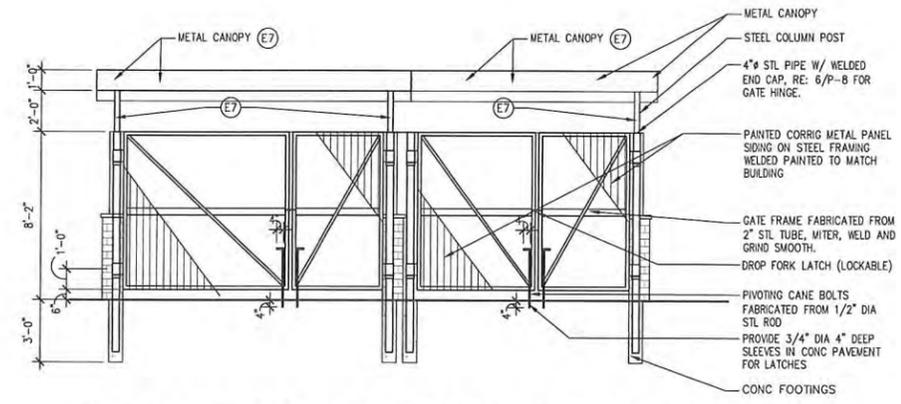
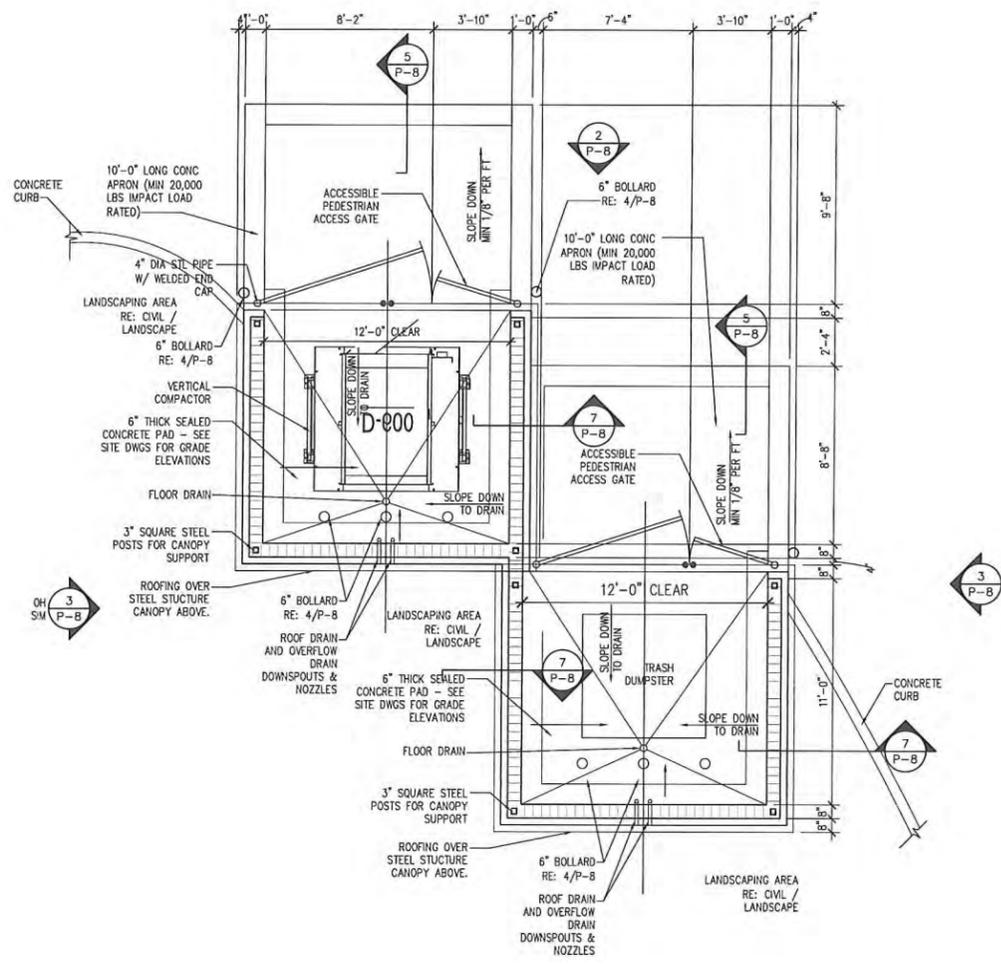
LumNo	Label	X	Y	Z *	Orient	Tilt
1	A	470	148	23	127	0
2	A	521	168	23	106	0
3	A2	374	205	23	0	0
4	A2	372	274	23	0	0
5	B	252	292	23	0	0
6	B	252	244	23	0	0
7	B	252	198	23	0	0
8	D2	316	205	23	0	0
9	D2	317	274	23	0	0
10	M	448	313	13	90	0
11	M	448	255	13	90	0
12	M	448	236	13	90	0
13	OB	530	218	9.33	0	0
14	OB	530	223	9.33	0	0
15	OB	540	223	9.33	0	0
16	OB	540	218	9.33	0	0
17	OC	448	274	13	0	0
18	OC	448	265	13	0	0
19	OC	448	296	13	0	0
20	WP	578.3	229.9	13	315	0
21	WS	445.4	305.3	7	180	0
22	WS	445.3	265.5	7	180	0

NOT A CONSTRUCTION DOCUMENT - FOR DESIGN PURPOSES ONLY

1 PHOTOMETRIC SITE PLAN  
 SE-1.2 SCALE: 1" = 30'-0"

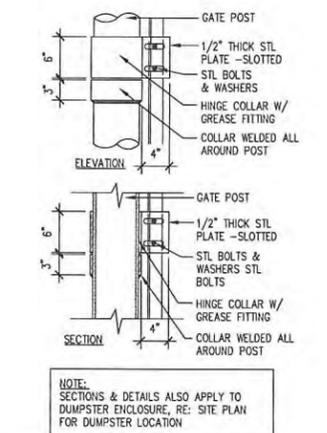
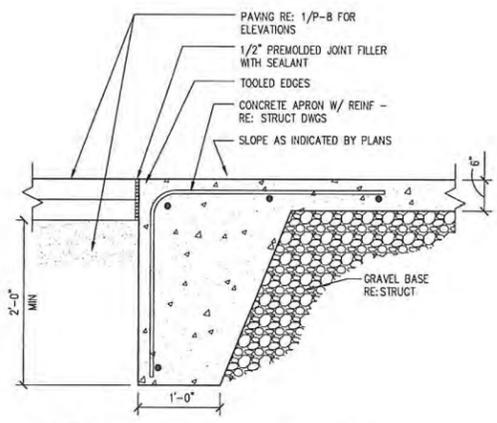
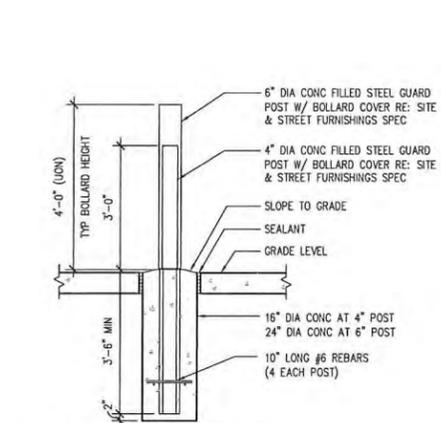


User = Newick, Cory C  
 Date = Fri Jul 17 2015 1:54:07 PM  
 Filepath = \\F:\F1W20546\Projects\CVS(California)\CA\_SanJose\_09498\_F1W20546\000\_Design\_Deliverables\003\_ENTITLEMENTS\SITE LIGHTING\NEW\_09498CA\_ea12.dwg



**1 COMPACTOR / DUMPSTER ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"  
NOTE: REFER TO CIVIL DRAWINGS FOR LOCATION.

**3 COMPACTOR / DUMPSTER ENCLOSURE ELEVATION**  
SCALE: 1/4" = 1'-0"  
NOTE: REFER TO ARCHITECTURAL SHEET P-4A FOR FINISH MATERIALS.



**7 WALL SECTION**  
SCALE: 1" = 1'-0"

User = Mendick, Cory G. Date = Wednesday, July 08, 2015 6:36:26 PM Filename = \\TWEL13\Projects\RetailDistribution\Active Projects\CVS\California\CA\_SanJose\_0498\_F1W20546\B00 Design Deliverables\B03 ENTITLEMENTS\ELEVATIONS\2015-05-13\_SanJose\_Conceptual\_Design\9498CA\_PB\_07-08-15.dwg

# CIMARRON LED

Cat.#

Job

Type  
A, A2, A2b  
C2, D2



Approvals

## SPECIFICATIONS

### Construction:

- Stylish vertically finned die-cast solid top housing for maximum heat dissipation; Stops collection of unsightly debris from gathering on top of the housing
- Rugged lower die-cast aluminum heat sink accelerates thermal management and optimizes PCB and optical performance
- Separate optical and electrical compartment for optimum component operation
- One piece die cut silicone gasket ensures weather proof seal around each individual LED for IP65 rating
- Backlight Control (BC) option available for 85% spill light reduction, doesn't change fixture appearance or EPA, recommended for Type III and Type IV distributions
- Stamped bezel provides mechanical compression to seal the optical assembly
- Complements the Hubbell Southwest series of outdoor fixtures
- Weight - 45.0 pounds, EPA - 1.3 ff<sup>2</sup>
- Suitable for applications requiring 3G testing prescribed by ANSI C136.31

### Optics:

- Choice of 72 high brightness LED configurations with individual acrylic lenses specially designed for IES Type II, III, IV and V distributions
- Auto optics designed for front row 1A and interior rows 2A (see distribution under ordering and page 2)
- CCT: 3000K (80 CRI), 4000K (70 CRI), 5100K (67 CRI), and turtle friendly Amber LED options
- CRI: 70

### Electrical:

- Universal input voltage 120-277 VAC, 50/60 Hz
- Integral step-down transformer for 347V & 480V
- Ambient operating temperature -40° C to 40° C
- Automatic thermal self-protection
- Drivers have greater than 90% power factor and less than 10% THD
- Optional continuous dimming to 10% or dual circuitry available

- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- 1050 mA driver available with 90L configuration for increased lumen output
- LED electrical assembly, including PR devices, consumes no power in the 'off' state
- Field replaceable surge protection device provides 20KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3. The SPD is designed with a clamping voltage of 1600V at 20KA using industry standard 8/20µs waveform.

### Controls:

- Features exclusive wiHUBB technology
  - Wireless system for On/Off and 0-10VDC full range dimming control
  - Programmable autonomous operation
- Drivers are 0-10V dimming standard. Photocell and occupancy sensors available for complete on/off and dimming control

### Lumen maintenance:

- L90 at 60,000 hours (Projected per IESNA TM-21-11)

### Installation:

- Two die-cast aluminum arm designs: The decorative arm offers a sleek upswept look while the straight arm follows the housing's contoured lines for continuity of style
- Fixture ships with arm installed for ease of installation and mounts to #2 drill pattern
- Wall bracket, mast arm fitter and pole accessories are also available allowing easy mounting for virtually any application

### Finish:

- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

### Warranty:

Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

### Listings:

- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations
- Models meet DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/QPL>
- IDA approved • IP65

## PRODUCT IMAGE(S)



90 LED 3/4 VIEW



30 LED

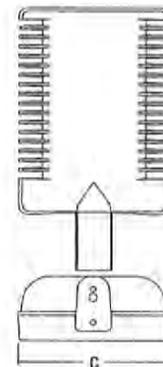
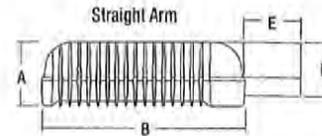
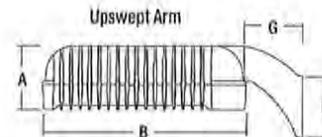


60 LED



90 LED

## DIMENSIONS



A	B	C	D	E	F	G
8 3/4"	21 3/4"	16"	6 5/8"	6 5/16"	5 5/8"	6 1/8"
171mm	552mm	406mm	168mm	160mm	143mm	155mm

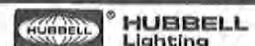
## CERTIFICATIONS/LISTINGS



## ORDERING INFORMATION SEE NEXT PAGE



Spalding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000  
Due to our continued efforts to improve our products, product specifications are subject to change without notice.



© 2014 SPALDING LIGHTING. All Rights Reserved • For more information visit our website: [www.spaldinglighting.com](http://www.spaldinglighting.com) • Printed in USA CL1LED-SPEC 10/14

## ORDERING INFORMATION ORDERING EXAMPLE: CL1-A-90LU-5K-3-DB-RPA3

SERIES	NO. OF LEDs	VOLTAGE	CCT	DRIVE CURRENT	OPTIONS
CL1 Cimatron LED	90L 90 High brightness LEDs 60L 60 High brightness LEDs 30L 30 High brightness LEDs	U <sup>1</sup> Universal 120V-277V, 50/60 Hz 1 <sup>2</sup> 120V 2 <sup>2</sup> 208V 3 <sup>2</sup> 240V 4 <sup>2</sup> 277V 5 480V, 60 Hz F 347V, 60 Hz E <sup>2</sup> 220V, 50 Hz	3K 3000K 4K 4000K 5K 5100K AM <sup>3</sup> Amber (590 nm available for "Turtle Friendly" applications (consult factory))	Leave blank for 700mA (standard) 035 350mA Amber CCT only 105 1050 mA (use with 90L only for higher lumen output)	BC <sup>4</sup> Backlight control BL <sup>1,2,5</sup> Bi-level control CD <sup>2</sup> Continuous dimming WB Wall bracket RPA3 3" Round pole adapter RPA4 4" Round pole adapter RPA5 5" Round pole adapter RPA6 6" Round pole adapter F(X) <sup>4,6</sup> Fusing (replace X with voltage: 1-120V, 2-208V, 3-240V, 4-277V, 5-480V, 6-347V) SSB Stainless steel LED bezel VG Vandal guard SCO <sup>19</sup> Motion sensor On/Off control, No light output when no motion detected SCP <sup>10</sup> Programmable motion control, factory default is 10% PR(X) <sup>8</sup> NEMA Photo cell receptacle (replace X with voltage: U=120-277, 5=480, 6=347) WIH <sup>7</sup> In-fixture wireless control module (120, 277, 347 & 480V)

MOUNTING	DISTRIBUTION	COLOR
A Arm mount construction (6" straight rigid arm included & acceptable for 90° configurations) AD Decorative arm mount const. (6" decorative upswept arm incl. & acceptable for 90° configurations) MAF Mast arm filter for mounting to standard 2 3/8" mast arm bracket, includes 6" straight rigid arm	2 Type II 3 Type III 4 Type IV 5M Type V Medium 5S Type V Short 5W Type V Wide 2L Type II Rotated 90° left 3L Type III Rotated 90° left 4L Type IV Rotated 90° left 2R Type II Rotated 90° right 3R Type III Rotated 90° right 4R Type IV Rotated 90° right 1A Auto Front Row Type I 1AR Auto Front Row Type I Rotated 90° right 1AL Auto Front Row Type I Rotated 90° left 2A Auto Front Row Type II 2AR Auto Front Row Type II Rotated 90° right 2AL Auto Front Row Type II Rotated 90° left	DB Dark Bronze BL Black WH White GR Gray PS Platinum Silver RD Red (premium color) FG Forest Green (premium color) CC Custom Color

Notes: 1- For BL option 90L and 60L; N/A 347V & 480V  
2- BL & CD cannot be combined  
3- Fuse option not available with universal voltage  
4- Select F3 fusing option for 220V  
5- Photocell receptacle not available with BL option  
6- Recommended for Type III and IV distributions only  
7- Select only when using voltage specific option (F or WIH)  
8- Available in 350mA drive current only Type IV, 5M  
9- 0-10V fully adjustable dimming with automatic daylight calibration and different time delay settings, must order minimum of one remote control to program dimming settings (see accessories)  
10- 120V/277V/347V/480V only

## ENERGY SAVING DATA

ENERGY DATA		INPUT WATTS		LUMENS DELIVERED						DRIVERS
Power Factor	>.9	120V-277V	347V-480V	TYPE 2	TYPE 3	TYPE 4	TYPE 5M	TYPE 5S	TYPE 5W	CURRENT
Total Harmonic Distortion	<10%	70	87	6384	6164	6641	7108	6999	6619	2@700mA
		140	157	13300	12842	13125	13185	13675	12954	4@700mA
		210	227	19684	19006	19202	20592	19610	18973	6@700mA
		336	363	26974	25351	26548	25793	27445	25195	6@1050mA
		70	87	6089	6109	6104	6417	6439	6046	2@700mA
		140	157	11583	11468	12036	12038	12581	11807	4@700mA
		210	227	17143	16973	17648	18521	20220	17394	6@700mA
		336	363	23896	23912	24199	24583	25357	23128	6@1050mA
		70	87	4606	4668	4686	4858	4902	4601	2@700mA
		140	157	9013	9175	9216	9409	9461	8844	4@700mA
		210	227	13360	13601	13575	13923	14004	13902	6@700mA
		336	363	17645	17612	17469	17950	18271	17330	6@1050mA

## AUTOMOTIVE DEALERSHIP OPTICS

For Automotive Dealership applications Spaulding Lighting has developed two optics designed for enhanced and proper lighting of the auto dealership merchandise and the front row 1A and interior rows 2A (See CL1 distribution information for details)

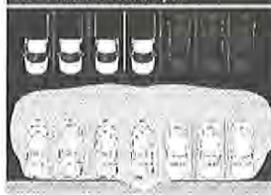
### Optic 1A

- Maximum illumination on front row display
- Maximum pole spacing

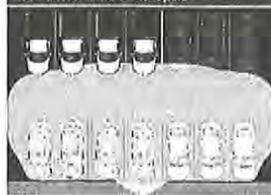
### Optic 2A

- Excellent front row illumination and drive lane
- Optimal uniformity for drive lane and interior rows

1A - Front Row Auto Optic



2A - Drive Lane Auto Optic



ACCESSORIES SEE NEXT PAGE



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000  
Due to our continued efforts to improve our products, product specifications are subject to change without notice.  
© 2014 SPAULDING LIGHTING, All Rights Reserved • For more information visit our website: www.spauldinglighting.com • Printed in USA CL1LED-SPEC 10/14



**ACCESSORIES**

Catalog Number	Description
SCP-REMOTE <sup>1</sup>	Remote control for SCP option. Order at least one per project to program and control.

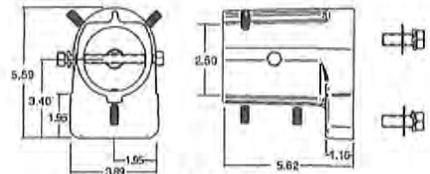
Catalog Number	Description
CR-RPA3-XX <sup>1</sup>	Round pole adapter for straight arm (3¼ - 3¾")
CR-RPA4-XX <sup>1</sup>	Round pole adapter for straight arm (3¾ - 4½")
CR-RPA5-XX <sup>1</sup>	Round pole adapter for straight arm (5")
CR-RPA6-XX <sup>1</sup>	Round pole adapter for straight arm (6")
CRD-RPA2-XX <sup>1</sup>	Round pole adapter for upswept arm (2¾ - 3¾")
CRD-RPA3-XX <sup>1</sup>	Round pole adapter for upswept arm (3¾ - 3¾")
CRD-RPA4-XX <sup>1</sup>	Round pole adapter for upswept arm (3¾ - 4½")
CRD-RPA5-XX <sup>1</sup>	Round pole adapter for upswept arm (5")
CRD-RPA6-XX <sup>1</sup>	Round pole adapter for upswept arm (6")
WB-CR-XX <sup>1</sup>	Wall bracket
TPLB-XX <sup>1</sup>	Twin parallel luminaire bracket
MAF-CL-XX <sup>2</sup>	Horizontal mast arm fitter for 2 3/8" OD arm. Mounts to standard 6" arm (ordered with fixture)

- <sup>1</sup> Replace XX with color choice, eg.: DB for Dark Bronze
- <sup>2</sup> When ordering poles, specify Pole Drill Pattern #2
- <sup>3</sup> Fixture must include standard 6" arm

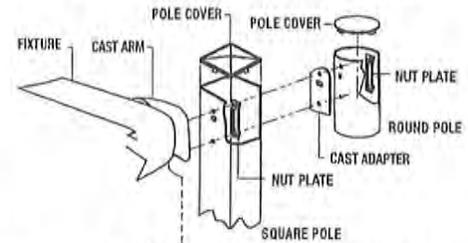
**MOUNTING ACCESSORIES**

Catalog Number	Description
ARM-CL-K-TA-XX <sup>1</sup>	Adjustable mounting arm for single fixture (2-3/8 tenon) – 5 lbs. 2.3 kgs.
ARM-CL-TK-TA-XX <sup>1</sup>	Adjustable mounting arm for two fixtures at 180° (2-3/8 tenon) – 7 lbs. 3.2 kgs.
ARM-CL-K-S-XX <sup>1</sup>	10" adjustable arm – .5 lbs. .05 kgs. – 5.75 lbs. 2.6 kgs.

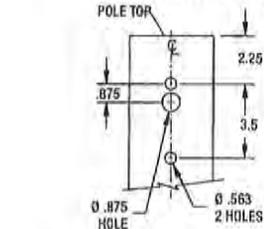
- <sup>1</sup> Replace XX with color choice, eg.: DB for Dark Bronze
- <sup>2</sup> Fixture must include standard 6" straight arm



MAF – HORIZONTAL MAST ARM FITTER



UPSWEPT ARM MOUNT SQUARE & ROUND POLES



#2 DRILL PATTERN FOR POLES

**TENON TOP POLE BRACKET ACCESSORIES**

(2 3/8" OD tenon) (RSS version requires 4" round pole adapter)

Catalog Number	Description
SETA-XX <sup>1</sup>	Square pole tenon adapter (4 at 90 degrees)
RETA-XX <sup>1</sup>	Round pole tenon adapter (4 at 90 degrees)
TETA-XX <sup>1</sup>	Hexagonal pole tenon adapter (3 at 120 degrees)

- <sup>1</sup> Replace XX with color choice, eg.: DB for Dark Bronze

**PHOTOCONTROL EQUIPMENT**

Catalog Number	Description
PTL-1	Photocontrol - twist-lock cell (120V)
PTL-8	Photocontrol - twist-lock cell (120-277V)
PTL-5	Photocontrol - twist-lock cell (480V)
PTL-6	Photocontrol - twist-lock cell (347V)
PSC	Shorting cap - twist-lock

**LIGHTING FACTS**

**LED lighting facts**  
Professional Grade

Light Output (Lumens) 6270  
Watts 68.4  
Lumens per Watt (Efficacy) 91

Color Accuracy CRI/Rendering Index (CRI) 74

Light Color Correlated Color Temperature (CCT) 4021 (Bright White)

Warm White | Bright White | Daylight  
3000K | 3500K | 4500K | 5000K

Warranty\*\* Yes

\*\* See www.lightingfacts.com/products for details.

**LED lighting facts**  
Professional Grade

Light Output (Lumens) 6892  
Watts 69.7  
Lumens per Watt (Efficacy) 98

Color Accuracy CRI/Rendering Index (CRI) 66

Light Color Correlated Color Temperature (CCT) 5008 (Daylight)

Warm White | Bright White | Daylight  
3000K | 3500K | 4500K | 5000K

Warranty\*\* Yes

\*\* See www.lightingfacts.com/products for details.

**LED lighting facts**  
Professional Grade

Light Output (Lumens) 15055  
Watts 208.8  
Lumens per Watt (Efficacy) 72

Color Accuracy CRI/Rendering Index (CRI) 76

Light Color Correlated Color Temperature (CCT) 5433 (Daylight)

Warm White | Bright White | Daylight  
3000K | 3500K | 4500K | 5000K

Warranty\*\* Yes

\*\* See www.lightingfacts.com/products for details.

**LED lighting facts**  
Professional Grade

Light Output (Lumens) 22898  
Watts 339.5  
Lumens per Watt (Efficacy) 67

Color Accuracy CRI/Rendering Index (CRI) 75

Light Color Correlated Color Temperature (CCT) 4102 (Bright White)

Warm White | Bright White | Daylight  
3000K | 3500K | 4500K | 5000K

Warranty\*\* Yes

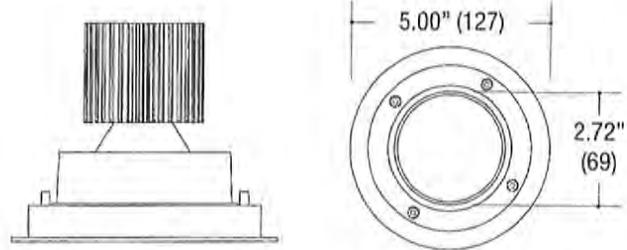
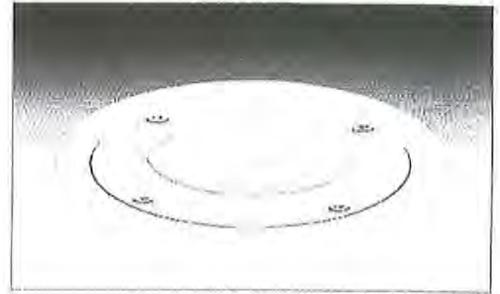
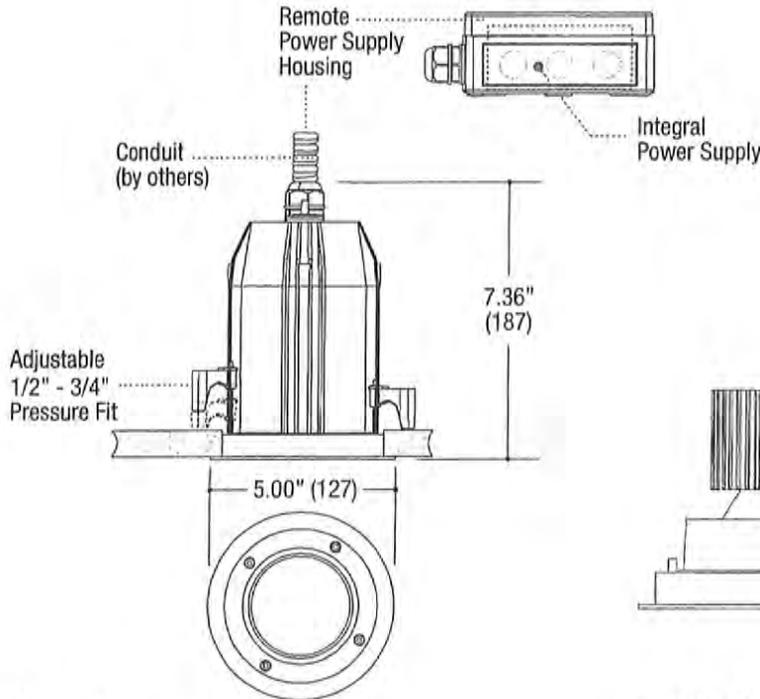
\*\* See www.lightingfacts.com/products for details.



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000  
Due to our continued efforts to improve our products, product specifications are subject to change without notice.  
© 2014 SPAULDING LIGHTING. All Rights Reserved • For more information visit our website: www.spauldinglighting.com • Printed in USA CL1LED-SPEC 10/14



PROJECT	TYPE <i>OB</i>	CATALOG NUMBER
---------	----------------	----------------



#### DOWNLIGHT

- Recessed fixed downlight
- Die-cast aluminum trim
- Powder coat finish

#### HOUSING

- Extruded aluminum central housing
- Powder coat finish
- Dust and water jet tight sealed
- **Ceiling Cut-Out - Ø4.65"**

#### LED SOURCE

- Field replaceable LED
- Field-changeable optic
- 20W / 1000lm, 80CRI / 3000K
- Accepts up to 2 or more optical accessories

#### ELECTRICAL

- Remotely installed LED driver
- Separated primary wiring compartment with integral power supply
- Double cable entry for through wiring
- Superpure aluminum reflector
- Dimmable

#### MOUNTING

- Swing out pressure fit mounting clips
- Adjustable up to 1.18" max. ceiling thickness

#### LABELS

- Suitable for wet location
- IP66 rated

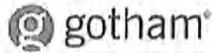
**5 YEAR  
WARRANTY**  
Limited



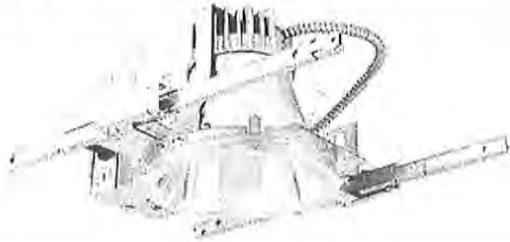
#### ORDERING INFO

SERIES	WATTAGE	CRI / COLOR	BEAM	DRIVER	VOLTAGE	FINISH	OPTIONS
<b>5811-1SA-T</b>  BULLET Recessed Die-Cast Aluminum Trim Fixed Downlight Trimmed Fixture	20L 20W LED 1000 lm nom.	8027 80CRI / 2700K	N Narrow 16°	LD LED Driver	1 120V	BB Black	CP Chicago Plenum
		8030 80CRI / 3000K	M Medium 28°	D1 Phase Dim. Driver 120V	U 120-277V	SS Silver	EM Emergency Relay
		8035 80CRI / 3500K	W Wide 42°	D2 0-10V Dim. Driver	3 347V*		
		8040 80CRI / 4000K		D3 Lutron HI-Lume Forward Phase	* Consult Factory		
		9027 90CRI / 2700K		2-Wire (1%)			
		9030 90CRI / 3000K		D4 Lutron HI-Lume Eco-System & 3-Wire (1%)			
		9727 97CRI / 2700K		D5 EcoSystem			
9730 97CRI / 3000K		5-Series 4-Wire (5%)					

Ordering Example: **5811-1SA-T-20L-8030-N-D1-1-SS-CP**



Luminaire Type: *OC*  
 Catalog Number  
 (autopopulated):



Gotham Architectural Downlighting  
 LED Downlights

**8" Evo®**  
 Open Reflector

Solid-State Lighting



FEATURES

**OPTICAL SYSTEM**

- Self-flanged semi-specular, matte-diffuse or specular lower reflector
- Patented Bounding Ray™ optical design (U.S. Patent No. 5,800,050)
- 45° cutoff to source and source image
- Top-down flash characteristic

**MECHANICAL SYSTEM**

- 16-gauge galvanized steel construction; maximum 1-1/2" ceiling thickness
- Telescopic mounting bars maximum of 32" and minimum of 15", preinstalled, 4" vertical adjustment
- Toolless adjustments post installation
- Junction box capacity: 8 (4 in, 4 out ) 12AWG rated for 90°C
- Light engine and driver accessible through aperture

**ELECTRICAL SYSTEM**

- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours based on IESNA LM-79-2008
- 120-277VAC, 50/60hz power supply with 0-10V dimming (10-100%); rated for 50,000-hour life
- Overload and short circuit protected
- LEDs tested under LM80

**LISTINGS**

- Fixtures are CSA certified to meet US and Canadian standards; wet location, covered ceiling

**WARRANTY**

- 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

ORDERING INFORMATION

EXAMPLE: EVO 35/18 8AR 120

Series	Color temperature	Nominal lumen values	Aperture/Trim color	Distribution	Finish	Voltage
EVO	27/ 2700 K	18 1800 lumens	8AR Clear	(blank) 1.0 s/mh	(blank) Semi-specular	120
	30/ 3000 K	22 2200 lumens	8PR Pewter	VND Very narrow (0.43 s/mh)	LD Matte diffuse	277
	35/ 3500 K	29 2900 lumens	8WTR Wheat	ND Narrow (0.52 s/mh)	LS Specular	347
	41/ 4100 K		8GR Gold 8WR <sup>1</sup> White	MD Medium (0.80 s/mh) WD Wide (1.1 s/mh)		

Driver	Options
(blank) <sup>2</sup> 0-10V dimming driver. Minimum dimming level 10%	SF Single fuse
ECOS2 <sup>3,4</sup> Lutron® Hi-Lume® 2-wire forward-phase dimming driver. Minimum dimming level 1%	RRL RELOC®-ready luminaire. Provides compatibility with Lithonia RELOC system. Access above ceiling required.
ECOS3 <sup>2,3</sup> Lutron® Hi-Lume® 3-wire or EcoSystem® dimming driver. Minimum dimming level 1%	NEPP Interface for Sensor Switch® nLight® network with integral power supply. Refer to <a href="#">TN-623-01</a> .
	TRW <sup>5</sup> White painted flange
	TRBL Black painted flange
	EL <sup>6</sup> Emergency battery pack with integral test switch
	ELR <sup>6</sup> Emergency battery pack with remote test switch
	CP Chicago plenum

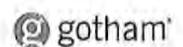
ACCESSORIES order as separate catalog numbers (shipped separately)

SCA8	Sloped ceiling adapter. Degree of slope must be specified (10D, 15D, 20D, 25D, 30D). Ex: SCA8 10D. Refer to <a href="#">TECH-190</a> .
CTA4-8 YK	Ceiling thickness adapter (extends mounting frame to accommodate ceiling thickness up to 2").
GVRT	Vandal-resistant trim accessory. Refer to <a href="#">TECH-200</a> .
ISD BC	0-10V wallbox dimmer. Refer to <a href="#">ISD-BC</a> .

**ORDERING NOTES**

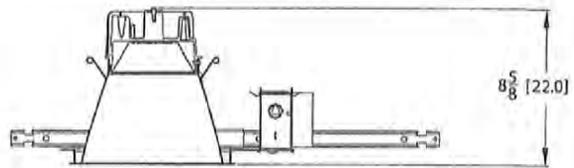
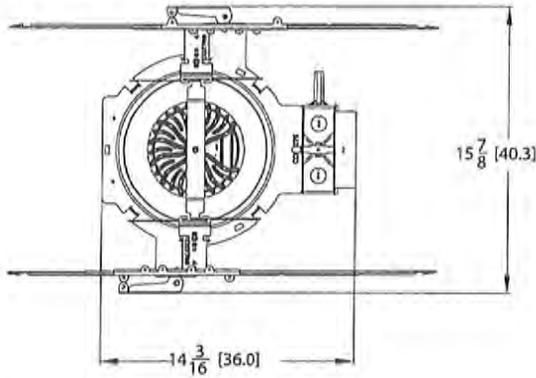
- |  |   |
|--|---|
| 1. Not available with finishes.                              | 4. 120V only.   |
| 2. Refer to <a href="#">TECH-240</a> for compatible dimmers. | 5. Not available with white reflector.                          |
| 3. Not available with NEPP option.                           | 6. For dimensional changes, refer to <a href="#">TECH-140</a> . |

NOTES



DIMENSIONAL DATA

All dimensions are inches (centimeters) unless otherwise noted.



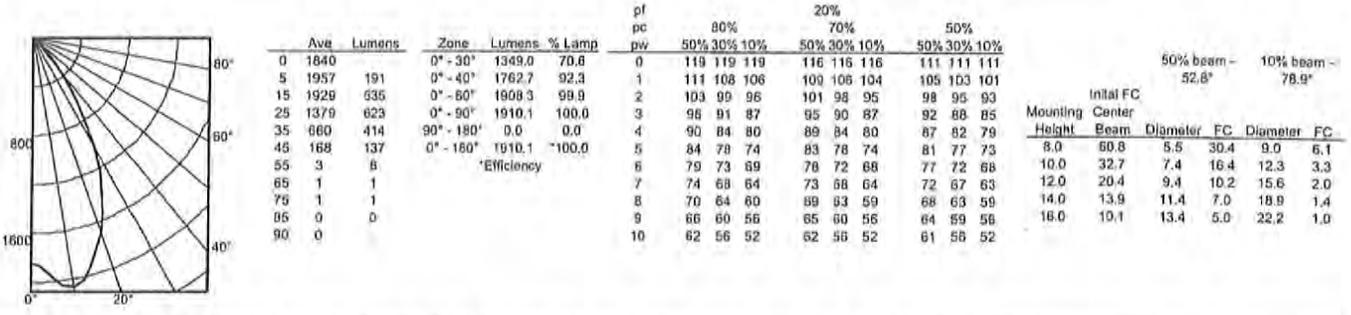
Aperture: 7-7/8 (20.1)  
 Ceiling Opening: 8-7/8 (21.5)  
 Overlap Trim: 9-1/4 (23.5)

ELECTRICAL

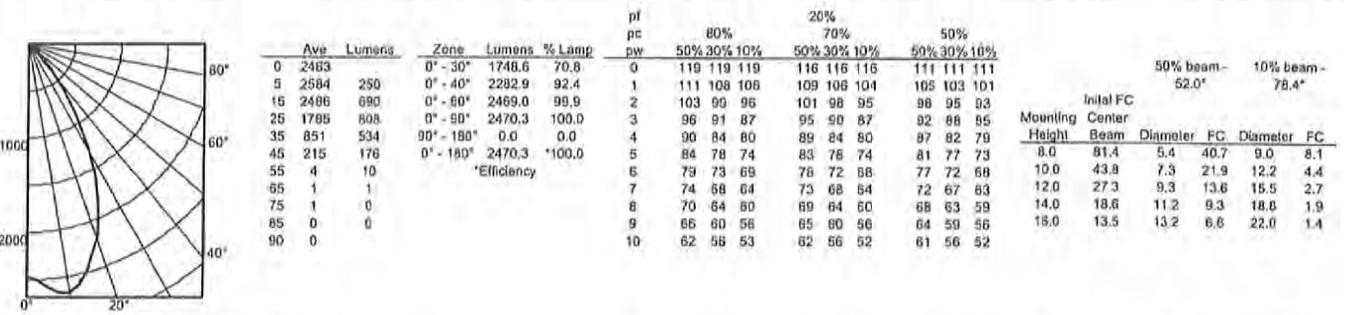
WATTAGE CONSUMPTION MATRIX		
LUMENS	WATTAGE	LUMENS per WATT
2900	49	64
2200	39	63
1800	35	55

Distribution Curve    Distribution Data    Output Data    Coefficient of Utilization    Illuminance: Single Luminaire 30" Above Floor

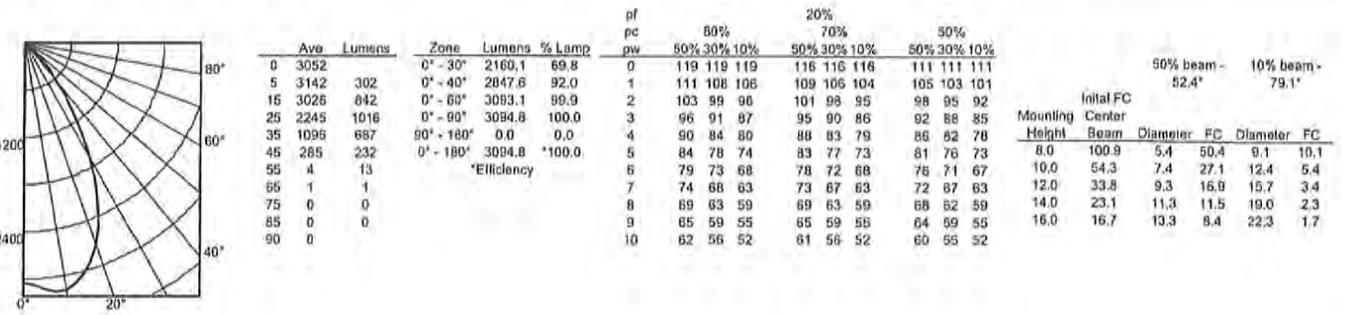
**EVO 35/18 8AR LS**    INPUT WATTS: 34.6, DELIVERED LUMENS: 1910.1, LM/W=55.2, 1.0 S/MH, TEST NO. LTL21102



**EVO 35/22 8AR LS**    INPUT WATTS: 39.3, DELIVERED LUMENS: 2470.3, LM/W=62.9, 1.0 S/MH, TEST NO. LTL21112



**EVO 35/29 8AR LS**    INPUT WATTS: 48.6, DELIVERED LUMENS: 3094.8, LM/W=63.7, 1.0 S/MH, TEST NO. LTL21108



**PHOTOMETRY NOTES**

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- Actual performance may differ as a result of end-user environment and application.
- Actual wattage may differ by +/- 10% when operating between 120-277V +/- 10%.
- CRI: 83 typical.
- Consult factory or IES file for microgroove baffle, black cone or other photometric reports.

## FEATURES & SPECIFICATIONS

**INTENDED USE** — Combines high efficiency with internal specular reflectors for improved lighting over HID systems. The refractive lens directs light away from the driving lane. The simple low-profile design integrates well into the low-ceiling environments found in parking structures. Fixtures are available with normal beam optics for increasing lighting levels at entrances, elevator lobbies, pedestrian waiting areas and stairwells.

**CONSTRUCTION** — Low-profile rugged polycarbonate full-cover lens housing with post-painted steel back plate for a high level of security and durability.

Backplate manufactured from 20-gauge cold rolled steel. Riveted and screwed assembly for rigidity.

Optional all aluminum construction. Optional heavy gauge steel backplate.

**Finish** - Premium polyester powder coat finish is standard, utilizing a 7-stage pretreatment process of iron phosphate, a non-chromium sealer and a de-ionized water rinse to provide superior adhesion and corrosion resistance.

**OPTICS** — Precision formed 95% total reflectance, segmented optics utilizing premium specular aluminum reflectors warranted for 25 years. Clear prismatic, injection molded and UV-stabilized polycarbonate lens (0.130 inch thickness)

Factory installed lamps are available in various CRI ratings, temperature colors and rated life.

Lamps are secured with rotary locking lamp sockets for ease of relamping and to provide superior electrical contact.

**ELECTRICAL** — All standard ballasts are electronic, energy saving, thermally protected, Class-P, HPI, non-PCB, Sound Rated A, UL/CSA certified where applicable and comply with the Federal Ballast Energy Law (Public Law 100-357, 1988). Default ballast configuration is for two-lamp ballast except for one-lamp fixtures. UL listed wire, rated for required temperatures, used throughout.

**INSTALLATION** — The luminaire is designed for surface or chain mount.

Surface conduit entry lens knockouts and rubber gasket is standard.

**LISTINGS** — UL Listed for damp locations up to 40°C ambient.

**WARRANTY** — 1-year limited warranty. Complete warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

Actual performance may differ as a result of end-user environment and application..

Note: Specifications subject to change without notice.

Catalog Number
Notes
Type: X

### Parking Garage Luminaire

# FPG

T5, T5HO or T8 Lamps



CONFIGURATIONS					
All dimensions are shown in inches (centimeters) unless otherwise noted					
SERIES	# OF LAMPS	LAMP TYPE	WIDTH	DEPTH	LENGTH
FPG2	2	17, 14T5, 24TSHO	9-5/8 (24.4)	3-5/8 (9.2)	25-5/8 (65.1)
FPG4	2	32, 28T5, 54TSHO	9-5/8 (24.4)	3-5/8 (9.2)	49-5/8 (126.0)

All dimensions are inches (centimeters) unless otherwise indicated.

### ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: FPG4 2 54TSHO B1X20 MVOLT GEB10PS90 LP841

Series	Number of lamps	Lamp type <sup>1</sup>	Distribution/Reflector	Voltage	
FPG2	2'	2			
FPG4	4'	17 17W T8 (24") 14T5 14W T5 (22") 24TSHO 24W TSHO (22") <sup>1</sup> 32 32W T8 (48") <sup>2</sup> 28T5 28W T5 (46") 54TSHO 54W TSHO (46")	<b>Distribution</b> B1 Broad beam, (1.8 < SC) N1 Normal beam (1.2 < SC < 1.4)	<b>Reflector</b> X20 MIRO <sup>4</sup> 4, .020"	MVOLT 120-277V, 60 Hz HVOLT 347-480V, 60 Hz
Ballast	Options	Lamp color			
GEB10ISH T8 electronic ballast, ≤10% THD, instant start, high BF	ELSC4 Emergency battery pack (400 lumens) <sup>2,3</sup>	(blank) No lamps			
GEB10IS T8 electronic ballast, ≤10% THD, instant start, normal BF	EL55 Emergency battery pack, nominal 390-700 lumens <sup>3</sup>	LP830 85 CRI, 3000°K, standard life			
GEB10PS Electronic ballast, ≤10% THD, programmed rapid start	GLR Internal fast-blow fuse <sup>4</sup>	LP835 85 CRI, 3500°K, standard life			
GEB10PS90 TSHO 90° electronic ballast, ≤10% THD, instant start, normal BF	18GA 18-gauge steel backplate	LP841 85 CRI, 4100°K, standard life			
	AL Aluminum backplate	LP850 85 CRI, 5000°K, standard life			

Accessories: Order as separate catalog number.	
HSD36	Chain hanger, 36"
SCG	Surface conduit gasket (one pair, not installed) <sup>5</sup>

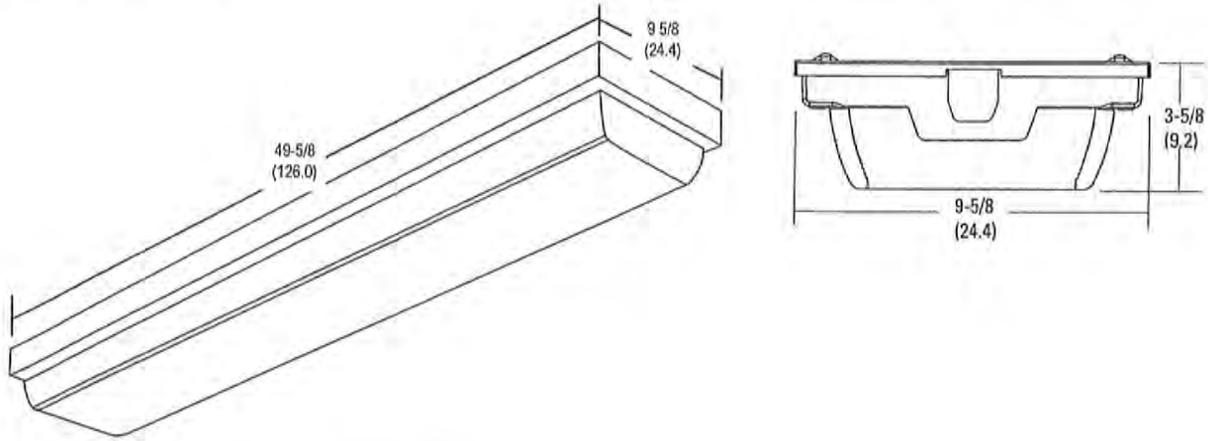
#### Notes

- See Configurations table for lamp compatibility.
- Available with T8 only.
- Must specify voltage, 120 or 277V only.
- Must specify voltage.
- Replacement purposes only.

# FPG Parking Garage Luminaire

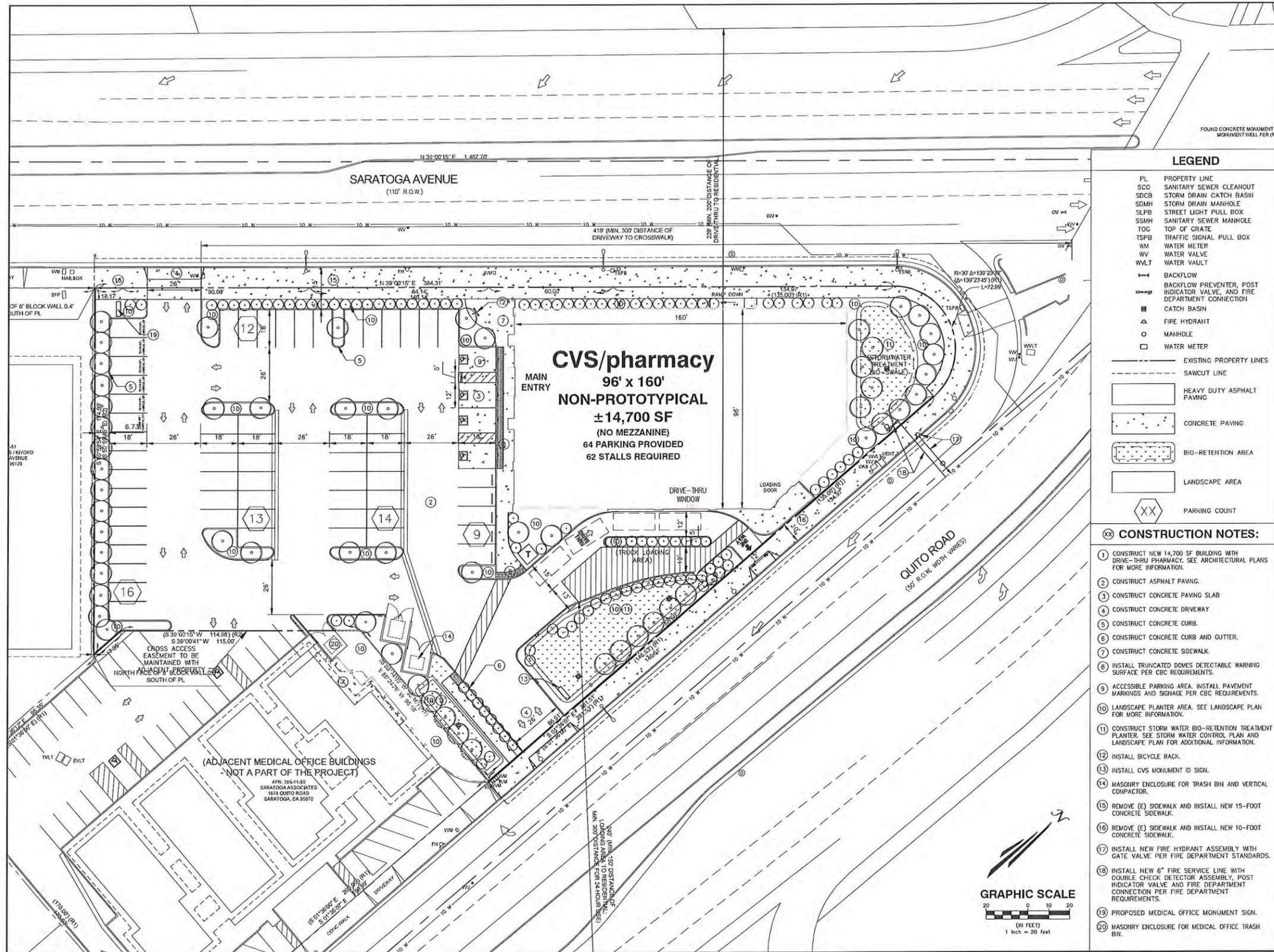
## DIMENSIONS

All dimensions are shown in inches (centimeters) unless otherwise noted.  
Specifications subject to change without notice.



## PHOTOMETRICS

See [www.lithonia.com](http://www.lithonia.com)

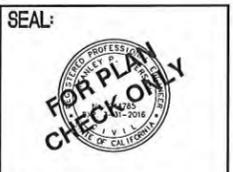


NON-PROTOTYPICAL  
 14,700 S.F.  
 STORE NUMBER: RELO. #9498  
 SWC SARATOGA AVENUE & QUITO ROAD  
 SAN JOSE, CA  
 PROJECT TYPE  
 DEAL TYPE  
 CS PROJECT NUMBER: 78075

DEVELOPER:  
  
 ARMSTRONG DEVELOPMENT PROPERTIES, INC.  
 2400 DEL PASO ROAD, SUITE 140  
 SACRAMENTO, CA 95834  
 TEL (916) 643-5610  
 FAX (916) 643-9613

CIVIL ENGINEER:  
  
 TAIT & ASSOCIATES, INC.  
 11260 Trade Center Drive  
 Rancho Cordova, CA 95742  
 (916) 635-2444  
 www.tait.com  
 Los Angeles Dallas  
 Rancho Cucamonga Denver  
 Sacramento North Dakota Seattle

CONSULTANT:



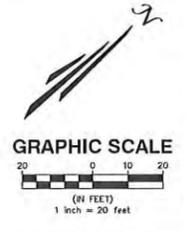
REVISIONS:

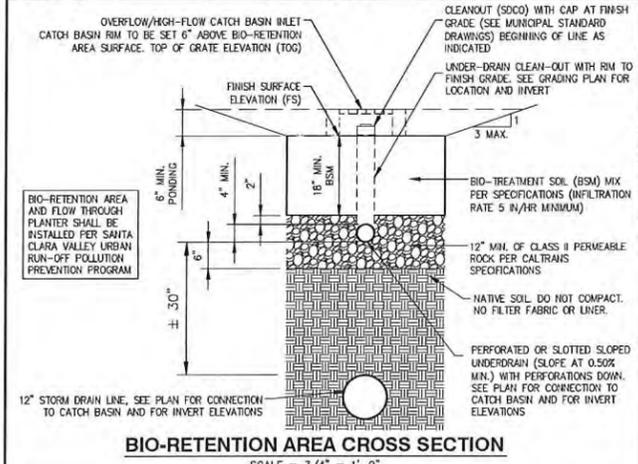
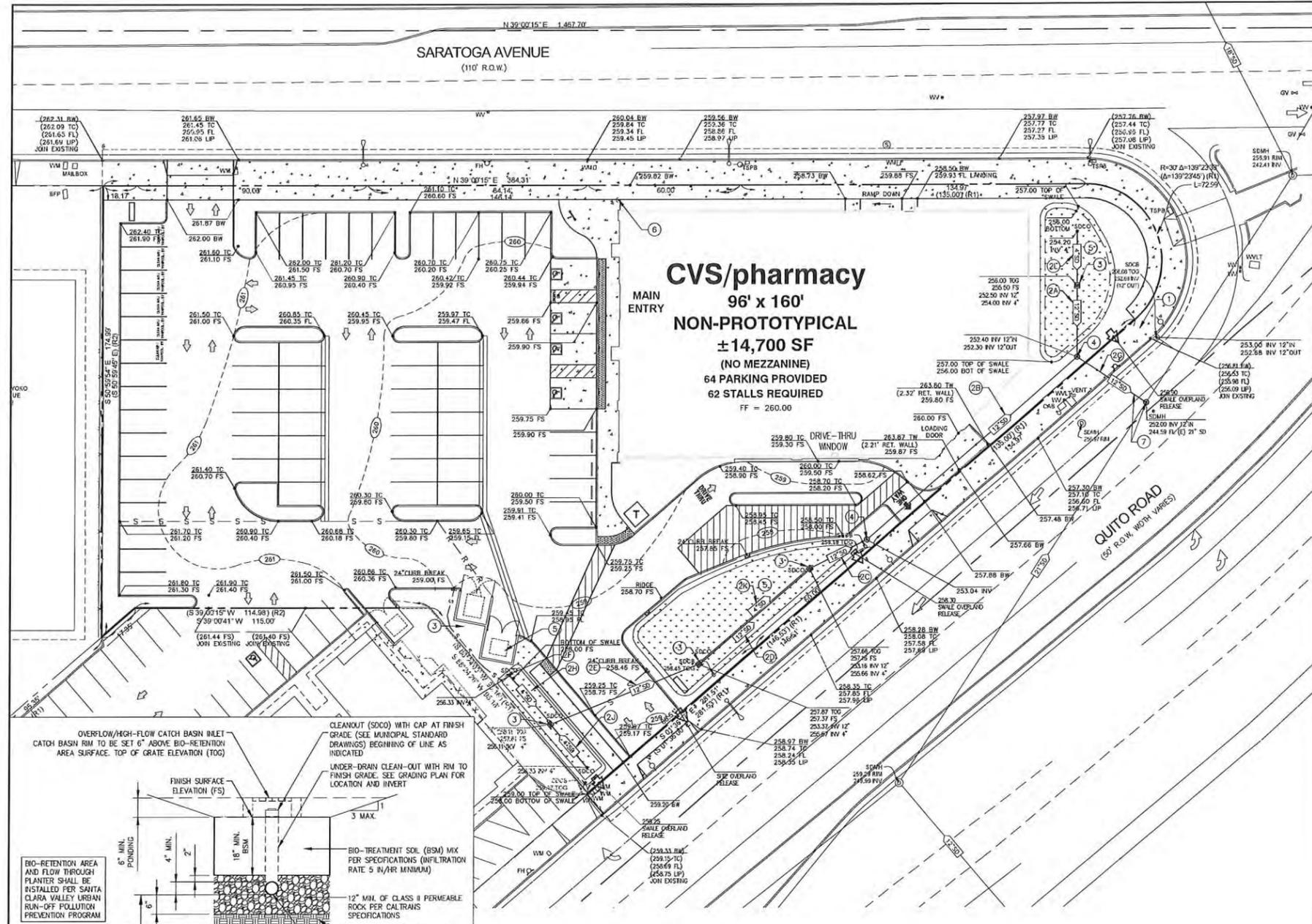
4 REV. PER CITY COMMENTS 4/25/16  
 3 REV. PER CITY COMMENTS 3/28/16  
 2 REV. PER CITY COMMENTS 9/23/15  
 1 REV. PER CITY COMMENTS 7/22/15  
 DRAWING BY: AD/STB  
 DATE: 2/19/15  
 JOB NUMBER: CVS1811

TITLE:  
**PRELIMINARY SITE PLAN**  
 SHEET NUMBER:  
**P1**  
 COMMENTS:  
 C15-008/CP15-014 (3rd SUBMITTAL)

- LEGEND**
- PL PROPERTY LINE
  - SGO SANITARY SEWER CLEANOUT
  - SDCB STORM DRAIN CATCH BASIN
  - SDMH STORM DRAIN MANHOLE
  - SLPB STREET LIGHT PULL BOX
  - SSMH SANITARY SEWER MANHOLE
  - TOG TOP OF GRADE
  - TSPB TRAFFIC SIGNAL PULL BOX
  - WM WATER METER
  - WV WATER VALVE
  - WWT WATER VAULT
  - BACKFLOW
  - BACKFLOW PREVENTER, POST INDICATOR VALVE, AND FIRE DEPARTMENT CONNECTION
  - CATCH BASIN
  - FIRE HYDRANT
  - MANHOLE
  - WATER METER
  - EXISTING PROPERTY LINES
  - SAWCUT LINE
  - HEAVY DUTY ASPHALT PAVING
  - CONCRETE PAVING
  - BIO-RETENTION AREA
  - LANDSCAPE AREA
  - PARKING COUNT

- CONSTRUCTION NOTES:**
- 1 CONSTRUCT NEW 14,700 SF BUILDING WITH DRIVE-THRU PHARMACY. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
  - 2 CONSTRUCT ASPHALT PAVING.
  - 3 CONSTRUCT CONCRETE PAVING SLAB.
  - 4 CONSTRUCT CONCRETE DRIVEWAY.
  - 5 CONSTRUCT CONCRETE CURB.
  - 6 CONSTRUCT CONCRETE CURB AND GUTTER.
  - 7 CONSTRUCT CONCRETE SIDEWALK.
  - 8 INSTALL TRUNCATED DOWNS DETECTABLE WARNING SURFACE PER CBC REQUIREMENTS.
  - 9 ACCESSIBLE PARKING AREA. INSTALL PAVEMENT MARKINGS AND SIGNAGE PER CBC REQUIREMENTS.
  - 10 LANDSCAPE PLANTER AREA. SEE LANDSCAPE PLAN FOR MORE INFORMATION.
  - 11 CONSTRUCT STORM WATER BIO-RETENTION TREATMENT PLANTER. SEE STORM WATER CONTROL PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
  - 12 INSTALL BICYCLE RACK.
  - 13 INSTALL CVS MONUMENT ID SIGN.
  - 14 MASONRY ENCLOSURE FOR TRASH BIN AND VERTICAL COMPACTOR.
  - 15 REMOVE (E) SIDEWALK AND INSTALL NEW 15-FOOT CONCRETE SIDEWALK.
  - 16 REMOVE (E) SIDEWALK AND INSTALL NEW 10-FOOT CONCRETE SIDEWALK.
  - 17 INSTALL NEW FIRE HYDRANT ASSEMBLY WITH GATE VALVE PER FIRE DEPARTMENT STANDARDS.
  - 18 INSTALL NEW 6" FIRE SERVICE LINE WITH DOUBLE CHECK DETECTOR ASSEMBLY, POST INDICATOR VALVE AND FIRE DEPARTMENT CONNECTION PER FIRE DEPARTMENT REQUIREMENTS.
  - 19 PROPOSED MEDICAL OFFICE MONUMENT SIGN.
  - 20 MASONRY ENCLOSURE FOR MEDICAL OFFICE TRASH BIN.





**GENERAL NOTES**

1. ALL GRADING WORK SHALL CONFORM TO THE STANDARDS OF THE RESPECTIVE AGENCY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A COPY OF ALL NECESSARY STANDARDS ON THE JOB SITE. AGENCY SHALL HAVE THE FINAL DECISION REGARDING ANY DISCREPANCIES.
2. ALL CONSTRUCTION OFF-SITE IS EXISTING AND TO REMAIN UNLESS NOTED OTHERWISE.
3. ALL ACCESSIBLE PARKING STALLS AND ACCESSIBLE PATHS OF TRAVEL SHALL MEET ALL APPLICABLE STANDARDS, SPECIFICALLY 2% MAXIMUM SLOPE FOR ALL STALLS IN ANY DIRECTION AND 2% MAXIMUM CROSS-SLOPE FOR PATHS OF TRAVEL. ALL RAMPS SHALL NOT EXCEED 1:12 AND HAVE A MAXIMUM RISE OF 2.5' WITHOUT A LANDING.

**UNAUTHORIZED CHANGES AND USES:** The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property, that this requirement shall be made to apply continuously and not limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from sole negligence of design professional.

**Engineers Note to Contractor:**  
The existence and location of any underground utilities, pipes, and/or structures shown on these plans were obtained by a search of available records. To the best of our knowledge, there are no existing utilities except as shown on these plans. The contractor shall ascertain the true vertical and horizontal location and size of those to be used of any underground utilities and shall be responsible for any damage to any public or private utilities, shown or not shown hereon.

**IMPORTANT NOTICE**  
Section 4216/4217 of the Government Code requires a Dig Alert Identification Number be issued before a Permit to Excavate will be valid. For your Dig Alert ID Number Call UNDERGROUND SERVICE ALERT 1-800-227-2600 For Underground Locating 2 Working Days before You Dig

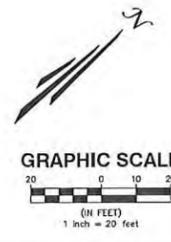
**BENCHMARK:**  
SET 1-1/4" BRASS DISK STAMPED CSJ BW ON TOP OF CURB AT ADDRESS 18451 E. PASEO OLIVOS WAY UPDATED TO SCVWD BM 164 ON 3-23-09  
BENCHMARK ID: 133-A  
NGVD29 ELEVATION: 263.25

**CONSTRUCTION NOTES:**

1. REMOVE EXISTING 8" STORM DRAIN LATERAL.
2. INSTALL NEW ASTM D3034 SDR35 PVC STORM DRAIN PIPE PER SPECIFICATIONS. TRENCH EXCAVATE AND BACKFILL PER SOILS REPORT RECOMMENDATIONS. INSTALL PIPE AT THE FOLLOWING SIZE, LENGTH, AND SLOPE:  
A) 12", 28 LF, S=0.005  
B) 12", 127 LF, S=0.005  
C) 12", 25 LF, S=0.005  
D) 12", 57 LF, S=0.004  
E) 12", 82 LF, S=0.005  
F) 12", 50 LF, S=0.005  
G) 12", 33 LF, S=0.005  
H) 4", 50 LF, S=0.01  
I) NOT USED  
J) 4", 22 LF, S=0.01  
K) 4", 57 LF, S=0.01  
L) 4", 20 LF, S=0.01
3. CONSTRUCT NEW STORM DRAIN CATCH BASIN/OVERFLOW INLET.
4. CONSTRUCT NEW STORM DRAIN MANHOLE.
5. CONSTRUCT STORMWATER BIORETENTION TREATMENT PLANTER. SEE DETAIL BELOW.
6. EXISTING SEWER CONNECTION TO REMAIN. INSTALL NEW 4" ASTM D3034 SDR26 PVC SEWER PIPE TO BUILDING POINT OF CONNECTION.
7. INSTALL NEW MANHOLE AND 12" LATERAL TO ONSITE STRUCTURE.

**LEGEND**

- BFP BACKFLOW PREVENTER
- BOW BOTTOM OF WALL
- BW BACK OF WALK
- CAB CABINET
- CONC CONCRETE
- EPB ELECTRICAL PULL BOX
- EVLV ELECTRICAL VAULT
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- FS FINISH SURFACE
- FW FOOT OF WALL
- GV GAS VALVE
- INV INVERT ELEVATION
- LIP LIP OF GUTTER
- PL PROPERTY LINE
- RIM RIM ELEVATION
- SCO SANITARY SEWER CLEANOUT
- SDCO STORM DRAIN CLEANOUT
- SDCB STORM DRAIN CATCH BASIN
- SDMH STORM DRAIN MANHOLE
- SLPB STREET LIGHT PULL BOX
- SMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- TOG TOP OF GRATE
- TOW TOP OF WALL
- TSPB TRAFFIC SIGNAL PULL BOX
- WM WATER METER
- WV WATER VALVE
- WLT WATER VAULT
- ORL OVERLAND RELEASE
- CB CATCH BASIN
- MH MANHOLE
- PE PROPOSED ELEVATION
- EE EXISTING ELEVATION
- EP EXISTING ELEVATION
- EL EXISTING ELEVATION
- ELC EXISTING ELEVATION
- ELJ EXISTING ELEVATION
- ELK EXISTING ELEVATION
- ELM EXISTING ELEVATION
- ELN EXISTING ELEVATION
- ELP EXISTING ELEVATION
- ELQ EXISTING ELEVATION
- ELR EXISTING ELEVATION
- ELS EXISTING ELEVATION
- ELT EXISTING ELEVATION
- ELU EXISTING ELEVATION
- ELV EXISTING ELEVATION
- ELW EXISTING ELEVATION
- ELX EXISTING ELEVATION
- ELY EXISTING ELEVATION
- ELZ EXISTING ELEVATION
- ELAA EXISTING ELEVATION
- ELAB EXISTING ELEVATION
- ELAC EXISTING ELEVATION
- ELAD EXISTING ELEVATION
- ELAE EXISTING ELEVATION
- ELAF EXISTING ELEVATION
- ELAG EXISTING ELEVATION
- ELAH EXISTING ELEVATION
- ELAI EXISTING ELEVATION
- ELAJ EXISTING ELEVATION
- ELAK EXISTING ELEVATION
- ELAL EXISTING ELEVATION
- ELAM EXISTING ELEVATION
- ELAN EXISTING ELEVATION
- ELAO EXISTING ELEVATION
- ELAP EXISTING ELEVATION
- ELAQ EXISTING ELEVATION
- ELAR EXISTING ELEVATION
- ELAS EXISTING ELEVATION
- ELAT EXISTING ELEVATION
- ELAU EXISTING ELEVATION
- ELAV EXISTING ELEVATION
- ELAW EXISTING ELEVATION
- ELAX EXISTING ELEVATION
- ELAY EXISTING ELEVATION
- ELAZ EXISTING ELEVATION
- ELBA EXISTING ELEVATION
- ELBB EXISTING ELEVATION
- ELBC EXISTING ELEVATION
- ELBD EXISTING ELEVATION
- ELBE EXISTING ELEVATION
- ELBF EXISTING ELEVATION
- ELBG EXISTING ELEVATION
- ELBH EXISTING ELEVATION
- ELBI EXISTING ELEVATION
- ELBJ EXISTING ELEVATION
- ELBK EXISTING ELEVATION
- ELBL EXISTING ELEVATION
- ELBM EXISTING ELEVATION
- ELBN EXISTING ELEVATION
- ELBO EXISTING ELEVATION
- ELBP EXISTING ELEVATION
- ELBQ EXISTING ELEVATION
- ELBR EXISTING ELEVATION
- ELBS EXISTING ELEVATION
- ELBT EXISTING ELEVATION
- ELBU EXISTING ELEVATION
- ELBV EXISTING ELEVATION
- ELBW EXISTING ELEVATION
- ELBX EXISTING ELEVATION
- ELBY EXISTING ELEVATION
- ELBZ EXISTING ELEVATION
- ELCA EXISTING ELEVATION
- ELCB EXISTING ELEVATION
- ELCC EXISTING ELEVATION
- ELCD EXISTING ELEVATION
- ELCE EXISTING ELEVATION
- ELCF EXISTING ELEVATION
- ELCG EXISTING ELEVATION
- ELCH EXISTING ELEVATION
- ELCI EXISTING ELEVATION
- ELCJ EXISTING ELEVATION
- ELCK EXISTING ELEVATION
- ELCL EXISTING ELEVATION
- ELCM EXISTING ELEVATION
- ELCN EXISTING ELEVATION
- ELCO EXISTING ELEVATION
- ELCP EXISTING ELEVATION
- ELCQ EXISTING ELEVATION
- ELCR EXISTING ELEVATION
- ELCS EXISTING ELEVATION
- ELCT EXISTING ELEVATION
- ELCU EXISTING ELEVATION
- ELCV EXISTING ELEVATION
- ELCW EXISTING ELEVATION
- ELCX EXISTING ELEVATION
- ELCY EXISTING ELEVATION
- ELCZ EXISTING ELEVATION
- ELDA EXISTING ELEVATION
- ELDB EXISTING ELEVATION
- ELDC EXISTING ELEVATION
- ELDD EXISTING ELEVATION
- ELDE EXISTING ELEVATION
- ELDF EXISTING ELEVATION
- ELDG EXISTING ELEVATION
- ELDH EXISTING ELEVATION
- ELDI EXISTING ELEVATION
- ELDJ EXISTING ELEVATION
- ELDK EXISTING ELEVATION
- ELDL EXISTING ELEVATION
- ELDM EXISTING ELEVATION
- ELDN EXISTING ELEVATION
- ELDO EXISTING ELEVATION
- ELDP EXISTING ELEVATION
- ELDQ EXISTING ELEVATION
- ELDR EXISTING ELEVATION
- ELDS EXISTING ELEVATION
- ELDT EXISTING ELEVATION
- ELDU EXISTING ELEVATION
- ELDV EXISTING ELEVATION
- ELDW EXISTING ELEVATION
- ELDX EXISTING ELEVATION
- ELDY EXISTING ELEVATION
- ELDZ EXISTING ELEVATION
- ELEA EXISTING ELEVATION
- ELEB EXISTING ELEVATION
- ELEC EXISTING ELEVATION
- ELED EXISTING ELEVATION
- ELEE EXISTING ELEVATION
- ELEF EXISTING ELEVATION
- ELEG EXISTING ELEVATION
- ELEH EXISTING ELEVATION
- ELEI EXISTING ELEVATION
- EL EJ EXISTING ELEVATION
- EL EK EXISTING ELEVATION
- EL EL EXISTING ELEVATION
- EL EN EXISTING ELEVATION
- EL EO EXISTING ELEVATION
- EL EP EXISTING ELEVATION
- EL EQ EXISTING ELEVATION
- EL ER EXISTING ELEVATION
- EL ES EXISTING ELEVATION
- EL ET EXISTING ELEVATION
- EL EU EXISTING ELEVATION
- EL EV EXISTING ELEVATION
- EL EW EXISTING ELEVATION
- EL EX EXISTING ELEVATION
- EL EY EXISTING ELEVATION
- EL EZ EXISTING ELEVATION
- EL FA EXISTING ELEVATION
- EL FB EXISTING ELEVATION
- EL FC EXISTING ELEVATION
- EL FD EXISTING ELEVATION
- EL FE EXISTING ELEVATION
- EL FG EXISTING ELEVATION
- EL FH EXISTING ELEVATION
- EL FI EXISTING ELEVATION
- EL FJ EXISTING ELEVATION
- EL FK EXISTING ELEVATION
- EL FL EXISTING ELEVATION
- EL FM EXISTING ELEVATION
- EL FN EXISTING ELEVATION
- EL FO EXISTING ELEVATION
- EL FP EXISTING ELEVATION
- EL FQ EXISTING ELEVATION
- EL FR EXISTING ELEVATION
- EL FS EXISTING ELEVATION
- EL FT EXISTING ELEVATION
- EL FU EXISTING ELEVATION
- EL FV EXISTING ELEVATION
- EL FW EXISTING ELEVATION
- EL FX EXISTING ELEVATION
- EL FY EXISTING ELEVATION
- EL FZ EXISTING ELEVATION
- EL GA EXISTING ELEVATION
- EL GB EXISTING ELEVATION
- EL GC EXISTING ELEVATION
- EL GD EXISTING ELEVATION
- EL GE EXISTING ELEVATION
- EL GF EXISTING ELEVATION
- EL GH EXISTING ELEVATION
- EL GI EXISTING ELEVATION
- EL GJ EXISTING ELEVATION
- EL GK EXISTING ELEVATION
- EL GL EXISTING ELEVATION
- EL GM EXISTING ELEVATION
- EL GN EXISTING ELEVATION
- EL GO EXISTING ELEVATION
- EL GP EXISTING ELEVATION
- EL GQ EXISTING ELEVATION
- EL GR EXISTING ELEVATION
- EL GS EXISTING ELEVATION
- EL GT EXISTING ELEVATION
- EL GU EXISTING ELEVATION
- EL GV EXISTING ELEVATION
- EL GW EXISTING ELEVATION
- EL GX EXISTING ELEVATION
- EL GY EXISTING ELEVATION
- EL GZ EXISTING ELEVATION
- EL HA EXISTING ELEVATION
- EL HB EXISTING ELEVATION
- EL HC EXISTING ELEVATION
- EL HD EXISTING ELEVATION
- EL HE EXISTING ELEVATION
- EL HF EXISTING ELEVATION
- EL HG EXISTING ELEVATION
- EL HH EXISTING ELEVATION
- EL HI EXISTING ELEVATION
- EL HJ EXISTING ELEVATION
- EL HK EXISTING ELEVATION
- EL HL EXISTING ELEVATION
- EL HM EXISTING ELEVATION
- EL HN EXISTING ELEVATION
- EL HO EXISTING ELEVATION
- EL HP EXISTING ELEVATION
- EL HQ EXISTING ELEVATION
- EL HR EXISTING ELEVATION
- EL HS EXISTING ELEVATION
- EL HT EXISTING ELEVATION
- EL HU EXISTING ELEVATION
- EL HV EXISTING ELEVATION
- EL HW EXISTING ELEVATION
- EL HX EXISTING ELEVATION
- EL HY EXISTING ELEVATION
- EL HZ EXISTING ELEVATION
- EL IA EXISTING ELEVATION
- EL IB EXISTING ELEVATION
- EL IC EXISTING ELEVATION
- EL ID EXISTING ELEVATION
- EL IE EXISTING ELEVATION
- EL IF EXISTING ELEVATION
- EL IG EXISTING ELEVATION
- EL IH EXISTING ELEVATION
- EL IJ EXISTING ELEVATION
- EL IK EXISTING ELEVATION
- EL IL EXISTING ELEVATION
- EL IM EXISTING ELEVATION
- EL IN EXISTING ELEVATION
- EL IO EXISTING ELEVATION
- EL IP EXISTING ELEVATION
- EL IQ EXISTING ELEVATION
- EL IR EXISTING ELEVATION
- EL IS EXISTING ELEVATION
- EL IT EXISTING ELEVATION
- EL IU EXISTING ELEVATION
- EL IV EXISTING ELEVATION
- EL IW EXISTING ELEVATION
- EL IX EXISTING ELEVATION
- EL IY EXISTING ELEVATION
- EL IZ EXISTING ELEVATION
- EL JA EXISTING ELEVATION
- EL JB EXISTING ELEVATION
- EL JC EXISTING ELEVATION
- EL JD EXISTING ELEVATION
- EL JE EXISTING ELEVATION
- EL JF EXISTING ELEVATION
- EL JG EXISTING ELEVATION
- EL JH EXISTING ELEVATION
- EL JI EXISTING ELEVATION
- EL JJ EXISTING ELEVATION
- EL JK EXISTING ELEVATION
- EL JL EXISTING ELEVATION
- EL JM EXISTING ELEVATION
- EL JN EXISTING ELEVATION
- EL JO EXISTING ELEVATION
- EL JP EXISTING ELEVATION
- EL JQ EXISTING ELEVATION
- EL JR EXISTING ELEVATION
- EL JS EXISTING ELEVATION
- EL JT EXISTING ELEVATION
- EL JU EXISTING ELEVATION
- EL JV EXISTING ELEVATION
- EL JW EXISTING ELEVATION
- EL JX EXISTING ELEVATION
- EL JY EXISTING ELEVATION
- EL JZ EXISTING ELEVATION
- EL KA EXISTING ELEVATION
- EL KB EXISTING ELEVATION
- EL KC EXISTING ELEVATION
- EL KD EXISTING ELEVATION
- EL KE EXISTING ELEVATION
- EL KF EXISTING ELEVATION
- EL KG EXISTING ELEVATION
- EL KH EXISTING ELEVATION
- EL KI EXISTING ELEVATION
- EL KJ EXISTING ELEVATION
- EL KK EXISTING ELEVATION
- EL KL EXISTING ELEVATION
- EL KM EXISTING ELEVATION
- EL KN EXISTING ELEVATION
- EL KO EXISTING ELEVATION
- EL KP EXISTING ELEVATION
- EL KQ EXISTING ELEVATION
- EL KR EXISTING ELEVATION
- EL KS EXISTING ELEVATION
- EL KT EXISTING ELEVATION
- EL KU EXISTING ELEVATION
- EL KV EXISTING ELEVATION
- EL KW EXISTING ELEVATION
- EL KX EXISTING ELEVATION
- EL KY EXISTING ELEVATION
- EL KZ EXISTING ELEVATION
- EL LA EXISTING ELEVATION
- EL LB EXISTING ELEVATION
- EL LC EXISTING ELEVATION
- EL LD EXISTING ELEVATION
- EL LE EXISTING ELEVATION
- EL LF EXISTING ELEVATION
- EL LG EXISTING ELEVATION
- EL LH EXISTING ELEVATION
- EL LI EXISTING ELEVATION
- EL LJ EXISTING ELEVATION
- EL LK EXISTING ELEVATION
- EL LL EXISTING ELEVATION
- EL LM EXISTING ELEVATION
- EL LN EXISTING ELEVATION
- EL LO EXISTING ELEVATION
- EL LP EXISTING ELEVATION
- EL LQ EXISTING ELEVATION
- EL LR EXISTING ELEVATION
- EL LS EXISTING ELEVATION
- EL LT EXISTING ELEVATION
- EL LU EXISTING ELEVATION
- EL LV EXISTING ELEVATION
- EL LW EXISTING ELEVATION
- EL LX EXISTING ELEVATION
- EL LY EXISTING ELEVATION
- EL LZ EXISTING ELEVATION
- EL MA EXISTING ELEVATION
- EL MB EXISTING ELEVATION
- EL MC EXISTING ELEVATION
- EL MD EXISTING ELEVATION
- EL ME EXISTING ELEVATION
- EL MF EXISTING ELEVATION
- EL MG EXISTING ELEVATION
- EL MH EXISTING ELEVATION
- EL MI EXISTING ELEVATION
- EL MJ EXISTING ELEVATION
- EL MK EXISTING ELEVATION
- EL ML EXISTING ELEVATION
- EL MN EXISTING ELEVATION
- EL MO EXISTING ELEVATION
- EL MP EXISTING ELEVATION
- EL MQ EXISTING ELEVATION
- EL MR EXISTING ELEVATION
- EL MS EXISTING ELEVATION
- EL MT EXISTING ELEVATION
- EL MU EXISTING ELEVATION
- EL MV EXISTING ELEVATION
- EL MW EXISTING ELEVATION
- EL MX EXISTING ELEVATION
- EL MY EXISTING ELEVATION
- EL MZ EXISTING ELEVATION
- EL NA EXISTING ELEVATION
- EL NB EXISTING ELEVATION
- EL NC EXISTING ELEVATION
- EL ND EXISTING ELEVATION
- EL NE EXISTING ELEVATION
- EL NF EXISTING ELEVATION
- EL NG EXISTING ELEVATION
- EL NH EXISTING ELEVATION
- EL NI EXISTING ELEVATION
- EL NJ EXISTING ELEVATION
- EL NK EXISTING ELEVATION
- EL NL EXISTING ELEVATION
- EL NN EXISTING ELEVATION
- EL NO EXISTING ELEVATION
- EL NP EXISTING ELEVATION
- EL NQ EXISTING ELEVATION
- EL NR EXISTING ELEVATION
- EL NS EXISTING ELEVATION
- EL NT EXISTING ELEVATION
- EL NU EXISTING ELEVATION
- EL NV EXISTING ELEVATION
- EL NW EXISTING ELEVATION
- EL NX EXISTING ELEVATION
- EL NY EXISTING ELEVATION
- EL NZ EXISTING ELEVATION
- EL OA EXISTING ELEVATION
- EL OB EXISTING ELEVATION
- EL OC EXISTING ELEVATION
- EL OD EXISTING ELEVATION
- EL OE EXISTING ELEVATION
- EL OF EXISTING ELEVATION
- EL OG EXISTING ELEVATION
- EL OH EXISTING ELEVATION
- EL OI EXISTING ELEVATION
- EL OJ EXISTING ELEVATION
- EL OK EXISTING ELEVATION
- EL OL EXISTING ELEVATION
- EL OM EXISTING ELEVATION
- EL ON EXISTING ELEVATION
- EL OP EXISTING ELEVATION
- EL OQ EXISTING ELEVATION
- EL OR EXISTING ELEVATION
- EL OS EXISTING ELEVATION
- EL OT EXISTING ELEVATION
- EL OU EXISTING ELEVATION
- EL OV EXISTING ELEVATION
- EL OW EXISTING ELEVATION
- EL OX EXISTING ELEVATION
- EL OY EXISTING ELEVATION
- EL OZ EXISTING ELEVATION
- EL PA EXISTING ELEVATION
- EL PB EXISTING ELEVATION
- EL PC EXISTING ELEVATION
- EL PD EXISTING ELEVATION
- EL PE EXISTING ELEVATION
- EL PF EXISTING ELEVATION
- EL PG EXISTING ELEVATION
- EL PH EXISTING ELEVATION
- EL PI EXISTING ELEVATION
- EL PJ EXISTING ELEVATION
- EL PK EXISTING ELEVATION
- EL PL EXISTING ELEVATION
- EL PM EXISTING ELEVATION
- EL PN EXISTING ELEVATION
- EL PO EXISTING ELEVATION
- EL PP EXISTING ELEVATION
- EL PQ EXISTING ELEVATION
- EL PR EXISTING ELEVATION
- EL PS EXISTING ELEVATION
- EL PT EXISTING ELEVATION
- EL PU EXISTING ELEVATION
- EL PV EXISTING ELEVATION
- EL PW EXISTING ELEVATION
- EL PX EXISTING ELEVATION
- EL PY EXISTING ELEVATION
- EL PZ EXISTING ELEVATION
- EL QA EXISTING ELEVATION
- EL QB EXISTING ELEVATION
- EL QC EXISTING ELEVATION
- EL QD EXISTING ELEVATION
- EL QE EXISTING ELEVATION
- EL QF EXISTING ELEVATION
- EL QG EXISTING ELEVATION
- EL QH EXISTING ELEVATION
- EL QI EXISTING ELEVATION
- EL QJ EXISTING ELEVATION
- EL QK EXISTING ELEVATION
- EL QL EXISTING ELEVATION
- EL QM EXISTING ELEVATION
- EL QN EXISTING ELEVATION
- EL QO EXISTING ELEVATION
- EL QP EXISTING ELEVATION
- EL QQ EXISTING ELEVATION
- EL QR EXISTING ELEVATION
- EL QS EXISTING ELEVATION
- EL QT EXISTING ELEVATION
- EL QU EXISTING ELEVATION
- EL QV EXISTING ELEVATION
- EL QW EXISTING ELEVATION
- EL QX EXISTING ELEVATION
- EL QY EXISTING ELEVATION
- EL QZ EXISTING ELEVATION
- EL RA EXISTING ELEVATION
- EL RB EXISTING ELEVATION
- EL RC EXISTING ELEVATION
- EL RD EXISTING ELEVATION
- EL RE EXISTING ELEVATION
- EL RF EXISTING ELEVATION
- EL RG EXISTING ELEVATION
- EL RH EXISTING ELEVATION
- EL RI EXISTING ELEVATION
- EL RJ EXISTING ELEVATION
- EL RK EXISTING ELEVATION
- EL RL EXISTING ELEVATION
- EL RM EXISTING ELEVATION
- EL RN EXISTING ELEVATION
- EL RO EXISTING ELEVATION
- EL RP EXISTING ELEVATION
- EL RQ EXISTING ELEVATION
- EL RR EXISTING ELEVATION
- EL RS EXISTING ELEVATION
- EL RT EXISTING ELEVATION
- EL RU EXISTING ELEVATION
- EL RV EXISTING ELEVATION
- EL RW EXISTING ELEVATION
- EL RX EXISTING ELEVATION
- EL RY EXISTING ELEVATION
- EL RZ EXISTING ELEVATION
- EL SA EXISTING ELEVATION
- EL SB EXISTING ELEVATION
- EL SC EXISTING ELEVATION
- EL SD EXISTING ELEVATION
- EL SE EXISTING ELEVATION
- EL SF EXISTING ELEVATION
- EL SG EXISTING ELEVATION
- EL SH EXISTING ELEVATION
- EL SI EXISTING ELEVATION
- EL SJ EXISTING ELEVATION
- EL SK EXISTING ELEVATION
- EL SL EXISTING ELEVATION
- EL SM EXISTING ELEVATION
- EL SN EXISTING ELEVATION
- EL SO EXISTING ELEVATION
- EL SP EXISTING ELEVATION
- EL SQ EXISTING ELEVATION
- EL SR EXISTING ELEVATION
- EL SS EXISTING ELEVATION
- EL ST EXISTING ELEVATION
- EL SU EXISTING ELEVATION
- EL SV EXISTING ELEVATION
- EL SW EXISTING ELEVATION
- EL SX EXISTING ELEVATION
- EL SY EXISTING ELEVATION
- EL SZ EXISTING ELEVATION
- EL TA EXISTING ELEVATION
- EL TB EXISTING ELEVATION
- EL TC EXISTING ELEVATION
- EL TD EXISTING ELEVATION
- EL TE EXISTING ELEVATION
- EL TF EXISTING ELEVATION
- EL TG EXISTING ELEVATION
- EL TH EXISTING ELEVATION
- EL TI EXISTING ELEVATION
- EL TJ EXISTING ELEVATION
- EL TK EXISTING ELEVATION
- EL TL EXISTING ELEVATION
- EL TM EXISTING ELEVATION
- EL TN EXISTING ELEVATION
- EL TO EXISTING ELEVATION
- EL TP EXISTING ELEVATION
- EL TQ EXISTING ELEVATION
- EL TR EXISTING ELEVATION
- EL TS EXISTING ELEVATION
- EL TU EXISTING ELEVATION
- EL TV EXISTING ELEVATION
- EL TW EXISTING ELEVATION
- EL TX EXISTING ELEVATION
- EL TY EXISTING ELEVATION
- EL TZ EXISTING ELEVATION
- EL UA EXISTING ELEVATION
- EL UB EXISTING ELEVATION
- EL UC EXISTING ELEVATION
- EL UD EXISTING ELEVATION
- EL UE EXISTING ELEVATION
- EL UF EXISTING ELEVATION
- EL UG EXISTING ELEVATION
- EL UH EXISTING ELEVATION
- EL UI EXISTING ELEVATION
- EL UJ EXISTING ELEVATION
- EL UK EXISTING ELEVATION
- EL UL EXISTING ELEVATION
- EL UM EXISTING ELEVATION
- EL UN EXISTING ELEVATION
- EL UO EXISTING ELEVATION
- EL UP EXISTING ELEVATION
- EL UQ EXISTING ELEVATION
- EL UR EXISTING ELEVATION
- EL US EXISTING ELEVATION
- EL UT EXISTING ELEVATION
- EL UU EXISTING ELEVATION
- EL UV EXISTING ELEVATION
- EL UW EXISTING ELEVATION
- EL UX EXISTING ELEVATION
- EL UY EXISTING ELEVATION
- EL UZ EXISTING ELEVATION
- EL VA EXISTING ELEVATION
- EL VB EXISTING ELEVATION
- EL VC EXISTING ELEVATION
- EL VD EXISTING ELEVATION
- EL VE EXISTING ELEVATION
- EL VF EXISTING ELEVATION
- EL VG EXISTING ELEVATION
- EL VH EXISTING ELEVATION
- EL VI EXISTING ELEVATION
- EL VJ EXISTING ELEVATION
- EL VK EXISTING ELEVATION
- EL VL EXISTING ELEVATION
- EL VM EXISTING ELEVATION
- EL VN EXISTING ELEVATION
- EL VO EXISTING ELEVATION
- EL VP EXISTING ELEVATION
- EL VQ EXISTING ELEVATION
- EL VR EXISTING ELEVATION
- EL VS EXISTING ELEVATION
- EL VT EXISTING ELEVATION
- EL VU EXISTING ELEVATION
- EL VV EXISTING ELEVATION
- EL VW EXISTING ELEVATION
- EL VX EXISTING ELEVATION
- EL VY EXISTING ELEVATION
- EL VZ EXISTING ELEVATION
- EL WA EXISTING ELEVATION
- EL WB EXISTING ELEVATION
- EL WC EXISTING ELEVATION
- EL WD EXISTING ELEVATION
- EL WE EXISTING ELEVATION
- EL WF EXISTING ELEVATION
- EL WG EXISTING ELEVATION
- EL WH EXISTING ELEVATION
- EL WI EXISTING ELEVATION
- EL WJ EXISTING ELEVATION
- EL WK EXISTING ELEVATION
- EL WL EXISTING ELEVATION
- EL WM EXISTING ELEVATION
- EL WN EXISTING ELEVATION
- EL WO EXISTING ELEVATION
- EL WP EXISTING ELEVATION
- EL WQ EXISTING ELEVATION
- EL WR EXISTING ELEVATION
- EL WS EXISTING ELEVATION
- EL WT EXISTING ELEVATION
- EL WU EXISTING ELEVATION
- EL WV EXISTING ELEVATION
- EL WW EXISTING ELEVATION
- EL WX EXISTING ELEVATION
- EL WY EXISTING ELEVATION
- EL WZ EXISTING ELEVATION
- EL XA EXISTING ELEVATION
- EL XB EXISTING ELEVATION
- EL XC EXISTING ELEVATION
- EL XD EXISTING ELEVATION
- EL XE EXISTING ELEVATION
- EL XF EXISTING ELEVATION
- EL XG EXISTING ELEVATION
- EL XH EXISTING ELEVATION
- EL XI EXISTING ELEVATION
- EL XJ EXISTING ELEVATION
- EL XK EXISTING ELEVATION
- EL XL EXISTING ELEVATION
- EL XM EXISTING ELEVATION
- EL XN EXISTING ELEVATION
- EL XO EXISTING ELEVATION
- EL XP EXISTING ELEVATION
- EL XQ EXISTING ELEVATION
- EL XR EXISTING ELEVATION
- EL XS EXISTING ELEVATION
- EL XT EXISTING ELEVATION
- EL XU EXISTING ELEVATION
- EL XV EXISTING ELEVATION
- EL XW EXISTING ELEVATION
- EL XX EXISTING ELEVATION
- EL XY EXISTING ELEVATION
- EL XZ EXISTING ELEVATION
- EL YA EXISTING ELEVATION
- EL YB EXISTING ELEVATION
- EL YC EXISTING ELEVATION
- EL YD EXISTING ELEVATION
- EL YE EXISTING ELEVATION
- EL YF EXISTING ELEVATION
- EL YG EXISTING ELEVATION
- EL YH EXISTING ELEVATION
- EL YI EXISTING ELEVATION
- EL YJ EXISTING ELEVATION
- EL YK EXISTING ELEVATION
- EL YL EXISTING ELEVATION
- EL YM EXISTING ELEVATION
- EL YN EXISTING ELEVATION
- EL YO EXISTING ELEVATION
- EL YP EXISTING ELEVATION
- EL YQ EXISTING ELEVATION
- EL YR EXISTING ELEVATION
- EL YS EXISTING ELEVATION
- EL YT EXISTING ELEVATION
- EL YU EXISTING ELEVATION
- EL YV EXISTING ELEVATION
- EL YW EXISTING ELEVATION
- EL YX EXISTING ELEVATION
- EL YY EXISTING ELEVATION
- EL YZ EXISTING ELEVATION
- EL ZA EXISTING ELEVATION
- EL ZB EXISTING ELEVATION
- EL ZC EXISTING ELEVATION
- EL ZD EXISTING ELEVATION
- EL ZE EXISTING ELEVATION
- EL ZF EXISTING ELEVATION
- EL ZG EXISTING ELEVATION
- EL ZH EXISTING ELEVATION
- EL ZI EXISTING ELEVATION
- EL ZJ EXISTING ELEVATION
- EL ZK EXISTING ELEVATION
- EL ZL EXISTING ELEVATION
- EL ZM EXISTING ELEVATION
- EL ZN EXISTING ELEVATION
- EL ZO EXISTING ELEVATION
- EL ZP EXISTING ELEVATION
- EL ZQ EXISTING ELEVATION
- EL ZR EXISTING ELEVATION
- EL ZS EXISTING ELEVATION
- EL ZT EXISTING ELEVATION
- EL ZU EXISTING ELEVATION
- EL ZV EXISTING ELEVATION
- EL ZW EXISTING ELEVATION
- EL ZX EXISTING ELEVATION
- EL ZY EXISTING ELEVATION
- EL ZZ EXISTING ELEVATION



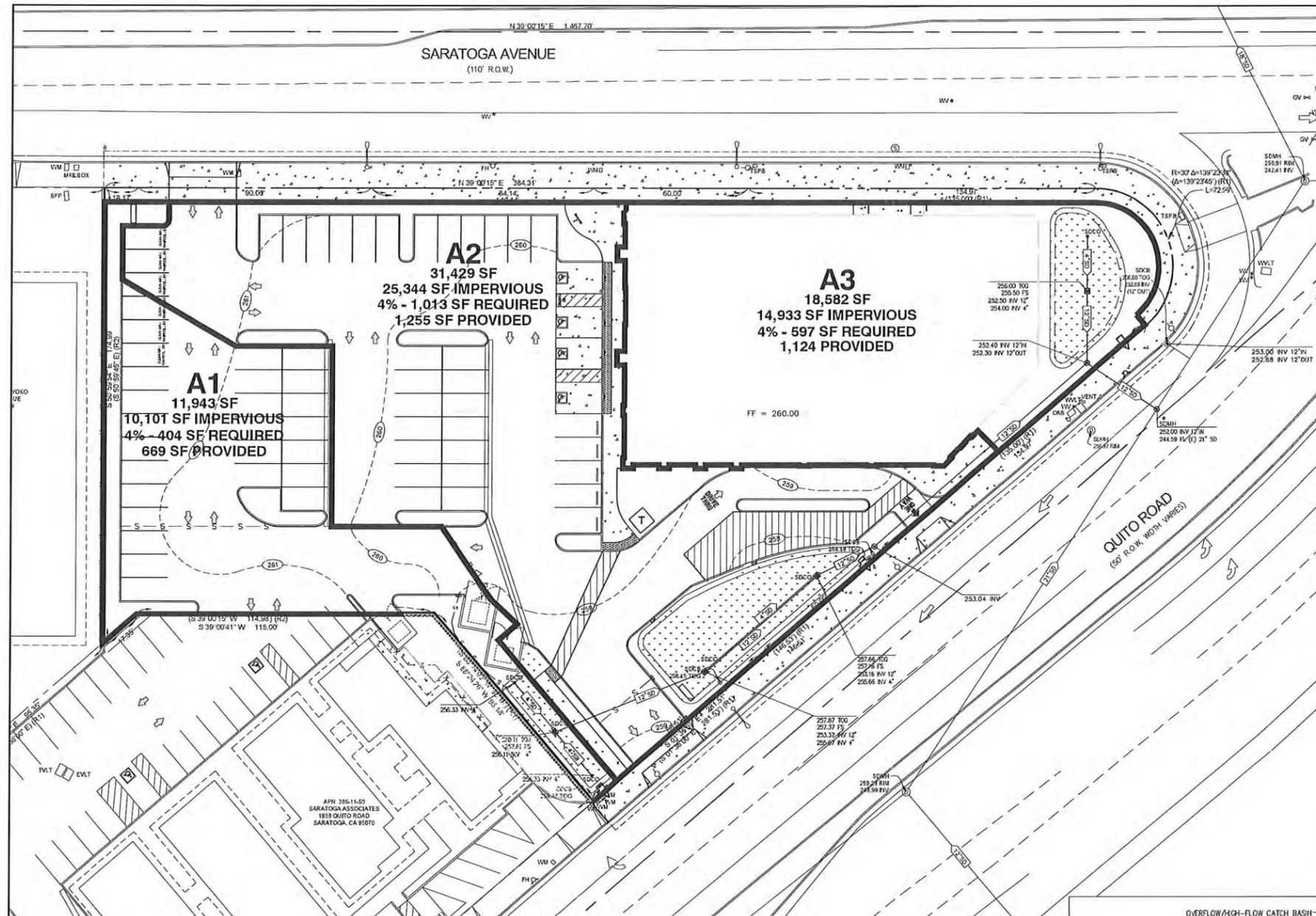
**NON-PROTOTYPICAL**  
14,700 S.F.  
STORE NUMBER: RELO. #9498  
SVC SARATOGA AVENUE & QUITO ROAD  
SAN JOSE, CA  
PROJECT TYPE  
DEAL TYPE  
CS PROJECT NUMBER: 78075

**DEVELOPER:**  
**ARMSTRONG DEVELOPMENT**  
COMMERCIAL, INC.  
ARMSTRONG DEVELOPMENT PROPERTIES, INC.  
7408 DEL PASO ROAD, SUITE 140  
SACRAMENTO, CA 95834  
TEL (916) 643-9610  
FAX (916) 643-9613

**CIVIL ENGINEER:**  
**TAIT & ASSOCIATES, INC.**  
11280 Trade Center Drive  
Rancho Cordova, CA 95742  
Since 1964 (916) 635-2444  
www.tait.com  
Los Angeles Rancho Cucamonga  
Sacramento North Dakota Dallas Denver Seattle

**CONSULTANT:**





**LEGEND**

- BFP BACKFLOW PREVENTER
- BOW BOTTOM OF WALL
- BW BACK OF WALK
- CAB CABINET
- CONC CONCRETE
- EPB ELECTRICAL PULL BOX
- EVLV ELECTRICAL VAULT
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- FS FINISH SURFACE
- FW FOOT OF WALL
- GV GAS VALVE
- INV INVERT ELEVATION
- LIP LIP OF GUTTER
- PL PROPERTY LINE
- RIM RIM ELEVATION
- SCO SANITARY SEWER CLEANOUT
- SOCB STORM DRAIN CATCH BASIN
- SDMH STORM DRAIN MANHOLE
- SLPB STREET LIGHT PULL BOX
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- TOG TOP OF GRATE
- TOW TOP OF WALL
- TSPB TRAFFIC SIGNAL PULL BOX
- WM WATER METER
- WV WATER VALVE
- WVLT WATER VAULT
- CB CATCH BASIN
- MANHOLE
- PROPOSED ELEVATION
- EXISTING ELEVATION
- EXISTING PROPERTY LINES
- SAWCUT LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- R R R RIDGE LINE
- S S S SWALE LINE
- SD STORM DRAIN LINE
- PROPOSED STORM DRAIN
- HEAVY DUTY ASPHALT PAVING
- CONCRETE PAVING
- BIORETENTION AREA
- LANDSCAPE AREA
- PERMEABLE PAVING

NON-PROTOTYPICAL  
14,700 S.F.  
STORE NUMBER: RELO. #9498  
SVC SARATOGA AVENUE & QUITO ROAD  
SAN JOSE, CA  
PROJECT TYPE  
DEAL TYPE  
CS PROJECT NUMBER: 78075

**DEVELOPER:**  
**ARMSTRONG DEVELOPMENT PROPERTIES, INC.**  
ARMSTRONG DEVELOPMENT PROPERTIES, INC.  
2400 DEL PASO ROAD, SUITE 140  
SACRAMENTO, CA 95834  
TEL (916) 643-5610  
FAX (916) 643-5613

**CIVIL ENGINEER:**  
**TAIT & ASSOCIATES, INC.**  
11200 Trade Center Drive  
Rancho Cordova, CA 95742  
(916) 635-2444  
www.tait.com  
Los Angeles Rancho Cucamonga Sacramento North Dakota  
Brisas Dallas Denver Seattle

**CONSULTANT:**



**REVISIONS:**

3 PER CITY COMMENTS 4/26/2015  
2 PER CITY COMMENTS 9/23/2015  
1 PER CITY COMMENTS 4/10/2015  
DRAWING BY: STB  
DATE: 2/12/2015  
JOB NUMBER: CV51811

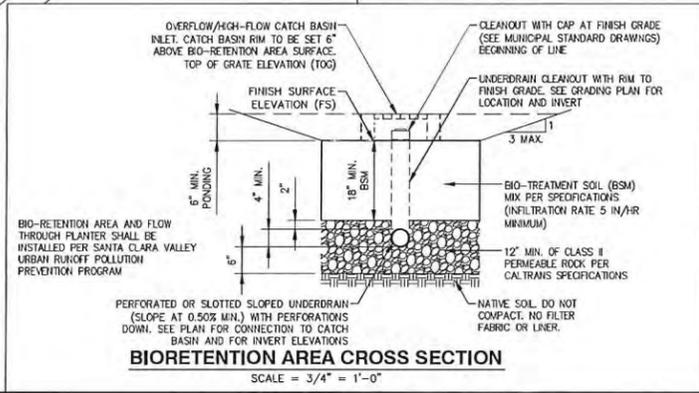
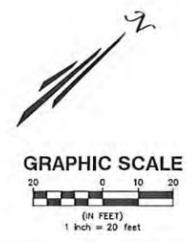
TITLE:  
**PRELIMINARY STORM WATER CONTROL PLAN**  
SHEET NUMBER:

**P3**

COMMENTS:  
C15-008/CP15-014 (3RD SUBMITTAL)

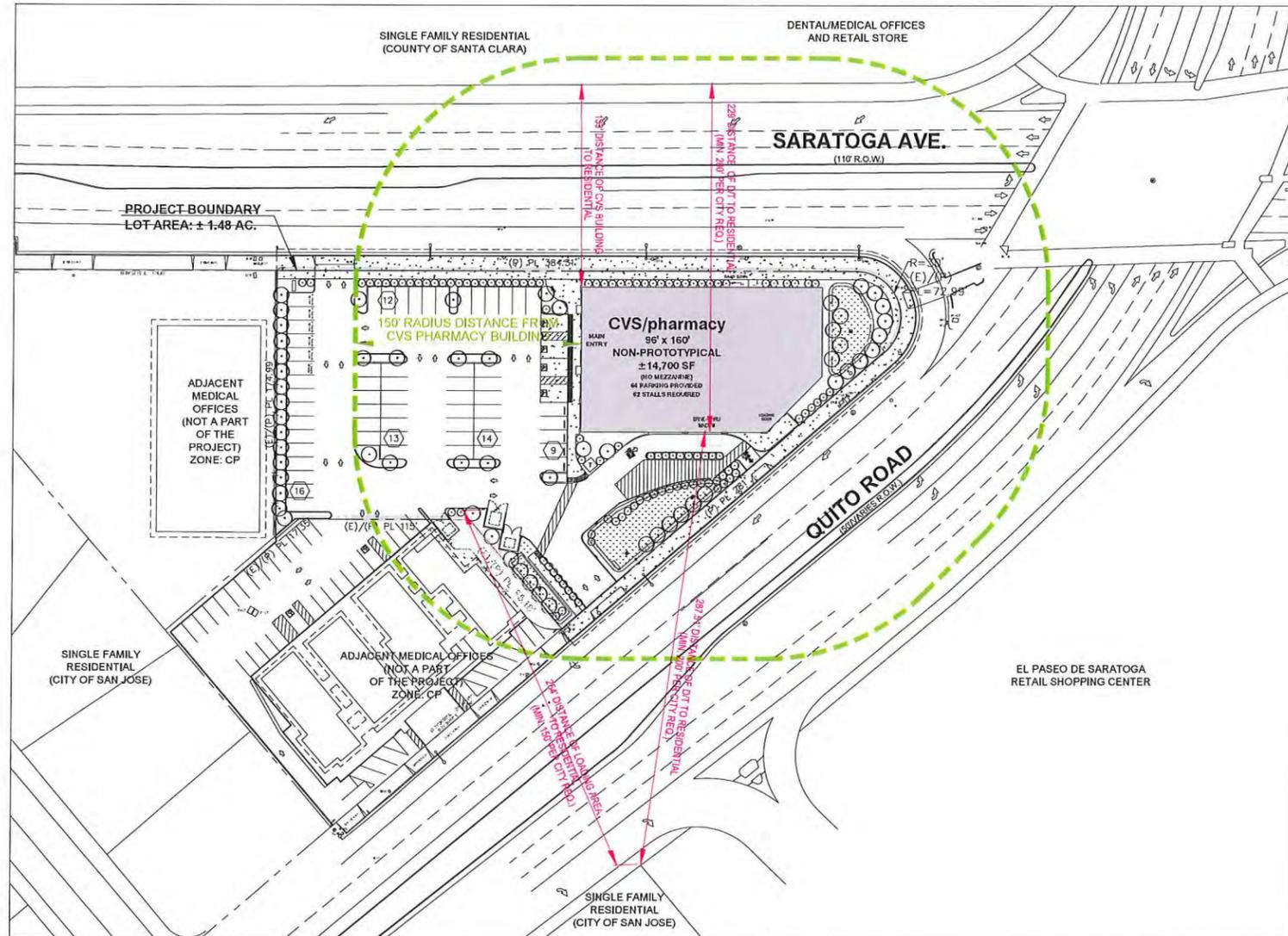
**BMP NUMERIC SIZING CALCULATION**

AREA ID	SURFACE	TOTAL AREA (S.F.)	BMP TO BE USED	DESIGN FACTOR	TREATMENT AREA REQUIRED (S.F.)	TREATMENT AREA PROVIDED (S.F.)
A1	ASPHALT PAVING	11,943 (0.27 ACRES)	BIO-RETENTION	0.04	404	435
A2	ASPHALT PAVING	31,429 (0.72 ACRES)	BIO-RETENTION	0.04	1,013	1,928
A3	ROOF	18,582 (0.43 ACRES)	BIO-RETENTION	0.04	597	1,124
TOTAL		61,954			2,014	3,048



APPLICATION FOR REZONE, CONDITIONAL USE PERMIT, & LOT LINE ADJUSTMENT  
**PROPOSED CVS PHARMACY #9498**

1804, 1818, 1824, 1848 SARATOGA AVE. (SWC QUITO RD.)  
 CITY OF SAN JOSE, SANTA CLARA COUNTY, CALIFORNIA  
 AUGUST 5, 2015



**DISTANCE STUDY EXHIBIT**  
 SCALE 1" = 40'

**PROJECT SUMMARY:**

APNs: 386-11-46, 47, 48, & 52  
 ADDRESS: 1804, 1818, 1824 AND 1848 SARATOGA AVENUE  
 GENERAL PLAN: NEIGHBORHOOD/COMMUNITY COMMERCIAL  
 ZONING DISTRICT:  
 EXISTING - CP COMMERCIAL PEDESTRIAN  
 PROPOSED - CN COMMERCIAL NEIGHBORHOOD

**BUILDING AREA SUMMARY:**

LAND USES	(E) EXISTING / NET (85%)	(P) PROPOSED / NET (85%)
(E) ROSE DONUTS & CAFE(A)	1,450 SF / 1,233	-
(E) RADIO SHACK/WINE RETAIL/PIZZA(B)	8,380 SF / 7,123	-
(E) VACANT COMMERCIAL SPACE(C)	6,130 SF / 5,210	-
(P) CVS PHARMACY	-	14,600 / 12,377
<b>TOTAL:</b>	<b>15,960 SF / 13,566</b>	<b>14,600 / 12,377 SF</b>

**PARCEL SUMMARY:**

LOT #/APN	LAND USES	(E) EXISTING	(P) PROPOSED
(E) 386-11-46	PREVIOUS GAS STATION	15,921 SF	-
(E) 386-11-47	DONUT SHOP	10,933 SF	-
(E) 386-11-48	VARIOUS RETAIL	20,392 SF	-
(E) 386-11-52	MEDICAL OFFICE	17,327 SF	-
(P) LOT 1	CVS PHARMACY	-	64,573 SF
<b>TOTAL:</b>		<b>64,573 SF</b>	<b>64,573 SF</b>

**PROPOSED SITE COVERAGE:**

DESCRIPTION	AREA	%
CVS PHARMACY STORE:	14,700 SF	22.6
SIDEWALK:	1,698 SF	2.6
OFF-STREET PARKING AND LOADING:	36,756 SF	57.0
LANDSCAPING:	11,519 SF	17.8
<b>TOTAL</b>	<b>64,573 SF</b>	<b>100</b>

**PARKING SUMMARY:**

EXISTING	44 STALLS (TO BE REMOVED)
REQUIRED FOR CVS (14,700 SF X 85% GSF/200 SF)	VEHICULAR (1/200 SF) 62 STALLS BICYCLE (1/3000) 5 STALLS
PROVIDED: STANDARD - 60 HANDICAP - 4	64 STALLS 5 STALLS



**VICINITY MAP**  
 NOT TO SCALE

**PROJECT DESCRIPTION:**

PROJECT WILL MERGE 4 COMMERCIAL PARCELS INTO A SINGLE LOT FOR THE DEVELOPMENT OF A 14,700 S.F. CVS PHARMACY RETAIL STORE WITH DRIVE-THRU WINDOW. CVS WILL OPERATE 24 HOURS A DAY AND SELL ALCOHOL FOR OFF-SITE CONSUMPTION.

ALL EXISTING STRUCTURES WILL BE DEMOLISHED.

**ON-SITE IMPROVEMENTS INCLUDE:**

NEW PARKING LOT, LANDSCAPE AREAS (WITH STORMWATER TREATMENT BIOSWALES), PARKING LOT LIGHTS, TRASH ENCLOSURES, SITE SIGNAGES AND NEW ACCESS DRIVEWAY LOCATIONS ON BOTH STREET FRONTAGES.

**ENTITLEMENTS REQUESTED:**

1. REZONE FROM CP TO CN
2. CONDITIONAL USE PERMIT (CUP) - FOR DRIVE-THRU WINDOW USE, 24-HR. USE, AND ALCOHOL SALES.
3. LOT LINE ADJUSTMENT - TO COMBINE 4 PARCELS TO 1.

**CONTACT INFORMATION:**

PROPERTY OWNER : GEOFFREY A. FARRAR  
 SHIRLEY MARE FARRAR  
 MAIN & MAIN PROPERTIES  
 2550 LAKEWEST DR., 350  
 CHICO, CA 95828

TERIN A. CHRISTENSEN  
 DANE VAL CHRISTENSEN  
 2202 VISTA GRANDE ST.  
 DANVILLE, CA 94526

BARBARA SPRENGER  
 ORCHARD HILLS PARTNERS  
 330 ORCHARD DR.  
 FELTON, CA 95018

DEVELOPER : ARMSTRONG DEVELOPMENT PROPERTIES  
 2400 DEL PASO ROAD, SUITE 140  
 SACRAMENTO, CA 95834  
 CONTACT: JOSH EISENHUT  
 (916) 643-9610 X 1104

CIVIL ENGINEER : TAIT & ASSOCIATES, INC.  
 11280 TRADE CENTER DRIVE  
 RANCHO CORDOVA, CA 95742  
 CONTACT: AMY DY  
 (916) 669-1816

ARCHITECT : JACOBS  
 1050 20TH STREET, SUITE 200  
 SACRAMENTO, CA 95811  
 CONTACT: YARED TESSEMA  
 (916) 273-5455



NON-PROTOTYPICAL  
 14,700 S.F.  
 STORE NUMBER: RELO #9498

PROJECT TYPE:  
 DEAL TYPE:  
 CS PROJECT NUMBER: 78075

DEVELOPER:

CIVIL ENGINEER:  
 TAIT & ASSOCIATES, INC.

CONSULTANT:



REVISIONS:

**DISTANCE STUDY EXHIBIT**

**P-13**

# **Attachments:**

Initial Study & Mitigated Negative Declaration

**Can be viewed online at:**

<http://sanjoseca.gov/index.aspx?NID=4991>



## **Saratoga Avenue and Quito Road - Project Facts**

### **Location**

The proposed CVS/pharmacy would be located at the southwest corner of Saratoga Avenue and Quito Road in San Jose. The site is currently occupied by a liquor store, donut shop, medical offices and retail space. The new store would be a relocation of the existing CVS/pharmacy store at Westgate West.

### **Site Details and Circulation**

The new building would be approximately 14,700 square feet. The site would feature strong pedestrian connections, generous landscaping and bicycle parking.

The existing site currently has five curb cuts along Saratoga Avenue, as well as five along Quito Road. These will be consolidated to one curb along Saratoga Avenue, and two along Quito Road. Infrastructure will be in place to force trucks to exit the site onto Saratoga Road. The store will require approximately three large truck deliveries a week.

### **Hours of Operation**

The store would be open from 7am to midnight daily.

### **Products**

The store would provide extended offerings specifically catering to the unique needs of the surrounding neighborhood. Products will include the following:

- Top quality healthcare-related products such as prescription medications, vitamins, supplements, and first aid products.
- Full line of basic needs such as stationary, household items, cleaners, seasonal merchandise, photo finishing, personal care items, and limited grocery including alcohol.

### **Prescription Services**

As a convenience for sick customers, the store would have a single-lane drive-thru window, located on the southeast side of the building, for prescription medicine pick-up and drop-off only. During peak times, a CVS/pharmacy drive-thru window serves approximately five to seven cars per hour. The store would also offer prescription delivery services.

### **City Process**

The proposed CVS/pharmacy project is currently undergoing review by the City of San Jose. Once approved, construction would take approximately six months.

***For more information, please email [saratogaandquitocvs@gmail.com](mailto:saratogaandquitocvs@gmail.com) or call 415.517.4423.***

**[www.CVSHealth.com](http://www.CVSHealth.com)**

The following  
items were  
received after  
packets were  
distributed.

**From:** Milt Wehrman <[miltwehrman@comcast.net](mailto:miltwehrman@comcast.net)>  
**Sent:** Wednesday, April 27, 2016 5:45 PM  
**To:** Bustos, Rebecca  
**Subject:** Discouragement for Building a CVS a Saratoga Ave & Quito Rd

Dear Ms. Rebecca Bustos, Project Manager, City of San Jose Planning Division

I recently heard about the following proposed project:

"The City of San Jose is currently reviewing a proposed CVS Pharmacy at the corner of Saratoga Avenue and Quito Road, located at 1804 Saratoga Avenue in San Jose. The proposed project calls for the demolition of three existing commercial buildings and the construction of a 14,700-square-foot CVS Pharmacy with a drive-through, off-sale of alcohol. It is no longer being proposed for 24-hour use."

As a long-time resident of Saratoga at 12525 Sumner Dr within about 2 miles of the proposed project, I would like to discourage it. The site with its previous businesses has had limited and inconvenient access for vehicles. Also, there is a CVS less than 1 mile away on Prospect Rd near Trader Joes and a CVS 2 miles away on Saratoga-Sunnyvale Ave near Cox Ave in the Argonaut Shopping center. It is hard to believe that another CVS is needed.

I thank you and the Planning Commission for your consideration of these points.

Regards, Milt Wehrman, 125252 Sumner Dr, Saratoga