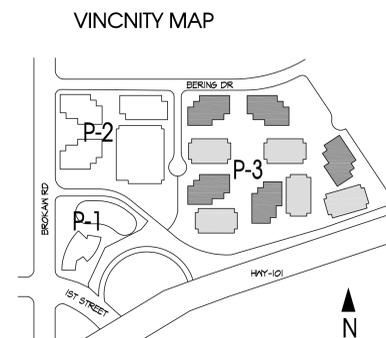


BROKAW ROAD OFFICE PARCEL - III

PD PERMIT AMMENDMANT JUNE 05, 2020
MARCH 10, 2020



BROKAW RD OFFICE
PARCEL 3

SAN JOSE, CA

PEERY-ARRILLAGA

No.	Date	Issues and Revisions	By
	03/10/20	PD PERMIT AMMENDMANT	
	06/05/20		

COVER

Project Number: 2019A103
Date: 03/10/20
Scale: -

A0

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PROJECT DESCRIPTION

CLEAROUT CURRENTLY VACANT HALF OF PACEL 237-16-072 AND VACANT PARCEL 237-16-071 TO PROPOSE FOUR (4) - EIGHT (8) STORY OFFICE BUILDINGS AND ONE (1) - TEN (10) STORY OFFICE BUILDING TOTALING 1,297,000 SQUARE FEET WITH FIVE (5) - EIGHT (8) STORY GARAGES TOTALING 1,219,220 SQUARE FEET.

PROJECT TEAM

OWNER/ DEVELOPER
PEERY-ARRILLAGA
2450 Watson Ct
Palo Alto, CA 94303

Phone: 650-618 7000
Contact: John Arrillaga

ARCHITECT
ARCHIRENDER ARCHITECTS
27 Country Club Dr.
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Phone: 510-585 6445
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CIVIL ENGINEER
SANDIS
1700 S. Winchester Blvd.,
Campbell, CA 75008

Phone: 408-636 0900
Contact: Nate Dickinson

LANDSCAPE ARCHITECT
LAUDERBAUGH ASSOCIATES
1699 Palo Sarlo Dr.
Campbell, CA 75008

Phone: 408-3744963
Contact: Jim Lauderbaugh

A0 COVER/ LOCATION MAP
A1.0 PROJECT DATA

A1.1 SITE PLAN/ ACCESSIBILITY PLAN
A1.2 ISOMETRIC
A1.3 ISOMETRIC

A2.1 OFFICE BLDG PLAN - 1ST/2ND FLOOR
A2.2 OFFICE BLDG PLAN - 3RD-7TH FLOOR
A2.3 OFFICE BLDG PLAN - 8TH-TOP/10TH FLOOR
A2.4 OFFICE BLDG PLAN - ROOF FLOOR
A2.5 GARAGE BLDG PLAN - 1ST/ TYP. FLOOR

A3.1 OFFICE BLDG ELEVATIONS
A3.1A OFFICE BLDG ELEVATIONS (10F)
A3.2 OFFICE BLDG ELEVATIONS
A3.2A OFFICE BLDG ELEVATIONS (10F)
A3.3 OFFICE BLDG SECTIONS
A3.3A OFFICE BLDG SECTIONS (10F)
A3.3 GARAGE BLDG ELEVATIONS/ SECTIONS
A4.1 PERSPECTIVE
A4.2 PERSPECTIVE

C1.0 COVER SHEET
A1.1 LAND USE PLAN
C2.0 GRADING AND DRAINAGE KEP MAP
C2.1s GRADING AND DRAINAGE PLAN
C3.0 UTILITY KEP MAP
C3.1s UTILITY PLAN
C4.0 STORMWATER MANAGEMENT PLAN
C4.1s STORMWATER MANAGEMENT DETAILS AND CALC.
C5.0 FIRE ACCESS PLAN
C5.1 FIRE COVERAGE PLAN
L1.0 LANDSCAPE PLANTING PLAN



PARCEL III: PROJECT DATA

ZONING:
EXISTING: I - INDUSTRIAL
PROPOSED: PD - ZONE DISTRICT

F.A.R.
EXISTING: 35%
ALLOWABLE: 40%

APN: 237-16-071
SITE: 802,766 sf (18.43 AC)

TOTAL BLDG AREA: 1,297,000 sf (FAR-1.62)

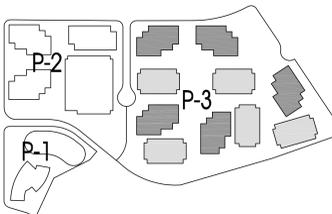
OCCUPANCY
OFFICE: B
GARAGE: S-2

CONSTRUCTION TYPE
OFFICE: I-B
GARAGE: I-B

PARKING:
TOTAL: 4,278 CARS (3.3/1000 sf)

	REQ'D	PPS'D
ADA:	52	60
CLEAN AIR:	416	575
EVSE:	520	525
BIKE:	325	360
MOTO BIKE:	104	110

* BIKE PARKING TABLE SEE CIVIL COVER SHEET



**BROKAW RD OFFICE
PARCEL 3**

SAN JOSE, CA

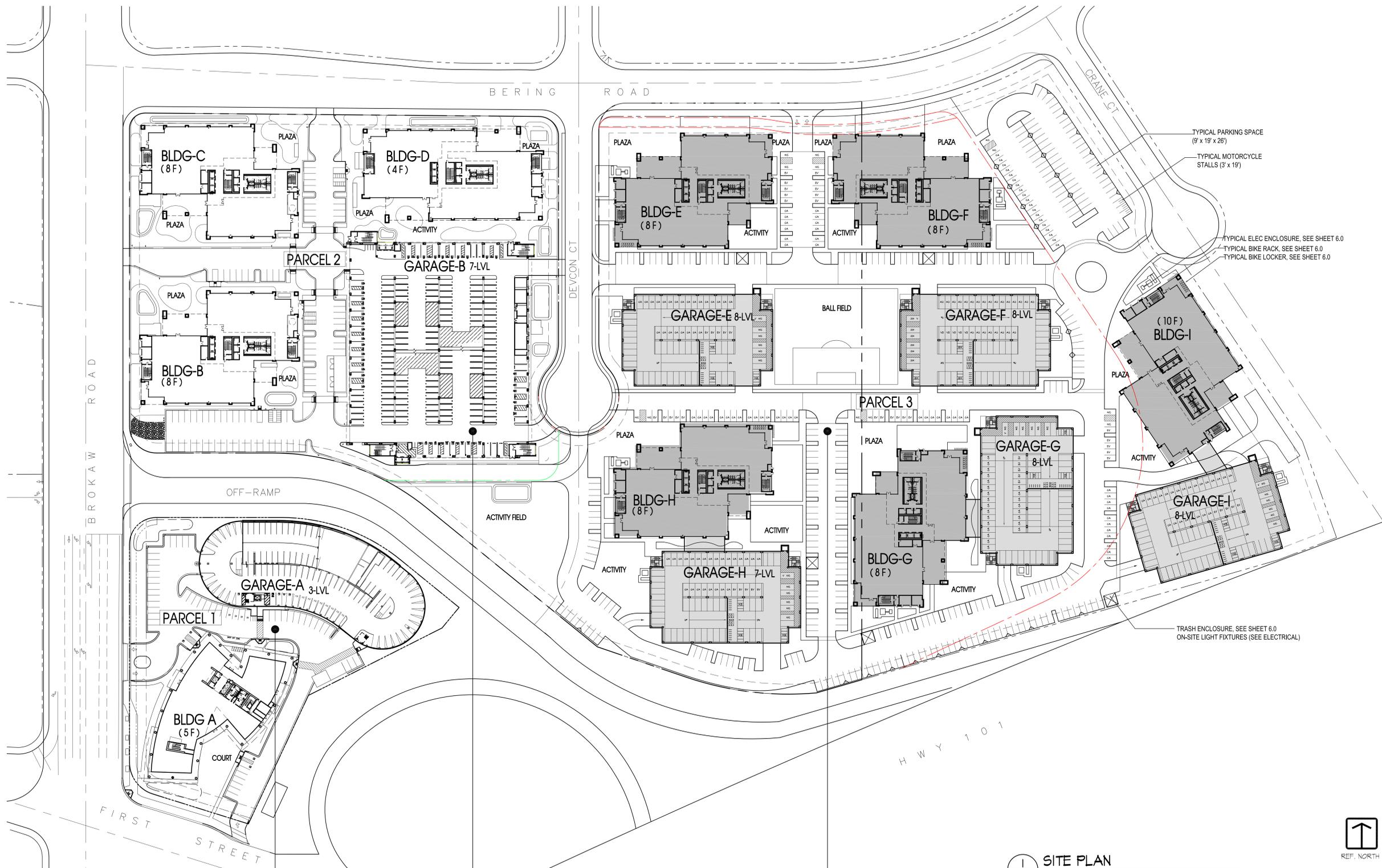
PEERY-ARRILLAGA

No.	Date	Issues and Revisions	By
	03/10/20	PD PERMIT AMMENDMENT	
	06/05/20		

PROJECT DATA

Project Number:	2019A103
Date:	03/10/20
Scale:	1" = 60'

A1-0



TYPICAL PARKING SPACE
(9' x 19' x 26')
TYPICAL MOTORCYCLE
STALLS (3' x 19')

TYPICAL ELEC ENCLOSURE, SEE SHEET 6.0
TYPICAL BIKE RACK, SEE SHEET 6.0
TYPICAL BIKE LOCKER, SEE SHEET 6.0

TRASH ENCLOSURE, SEE SHEET 6.0
ON-SITE LIGHT FIXTURES (SEE ELECTRICAL)

SITE PLAN
SCALE: 1" = 60'



PARCEL 1 (APN: 237-16-073)

SITE AREA:	PROPOSED AREA:	PROPOSED FAR
143,312 sf (3.29 ACRES)	116,800 sf	0.82

OFFICE BUILDING	AREA	FLOORS
A	116,800 sf	5
TOTAL	116,800 sf	

PROVIDED PARKING

AT GRADE:	56 CARS
GARAGE: (3-LEVEL)	337 CARS
TOTAL:	393 CARS (3.37/1000 sf)

PARCEL 2 (APN: 237-16-072)

SITE AREA: (After Dedication)	PROPOSED AREA:	PROPOSED FAR
334,799 sf (7.68 ACRES)	611,535 sf	1.83

OFFICE BUILDING	AREA	FLOORS
B	242,320 sf	8
C	242,320 sf	8
D	126,895 sf	4
TOTAL	611,535 sf	

PROVIDED PARKING

AT GRADE:	212 CARS
1 x GARAGE: (7-LEVEL)	2,055 CARS
TOTAL:	2,267 CARS (3.7/1000 sf)

PARCEL 3 (APN: 237-16-071)

SITE AREA: (After Dedication)	PROPOSED AREA:	PROPOSED FAR
802,766 sf (18.43 ACRES)	1,297,000 sf	1.62

OFFICE BUILDING	AREA	FLOORS	TYP FLOOR PLATE
E	246,700 sf	8	31,000 sf
F	246,700 sf	8	31,000 sf
G	246,700 sf	8	31,000 sf
H	246,700 sf	8	31,000 sf
I	310,200 sf	10	31,000 sf
TOTAL	1,297,000 sf		

PROVIDED PARKING

AT GRADE:	408 CARS
5 x GARAGE: (8-LEVEL)	3,870 CARS
TOTAL:	4,278 CARS (3.3/1000 sf)

ALL PARCELS

SITE AREA: (After Dedication)	PROPOSED AREA:	PROPOSED FAR
1,280,877 sf (29.41 ACRES)	2,025,335 sf	1.58

OFFICE BUILDING	AREA
A/B/C/D/E/F/G/H/I	2,025,335 sf

PROVIDED PARKING

AT GRADE:	676 CARS
GARAGE:	6,262 CARS
TOTAL:	6,938 CARS (3.4/1000 sf)

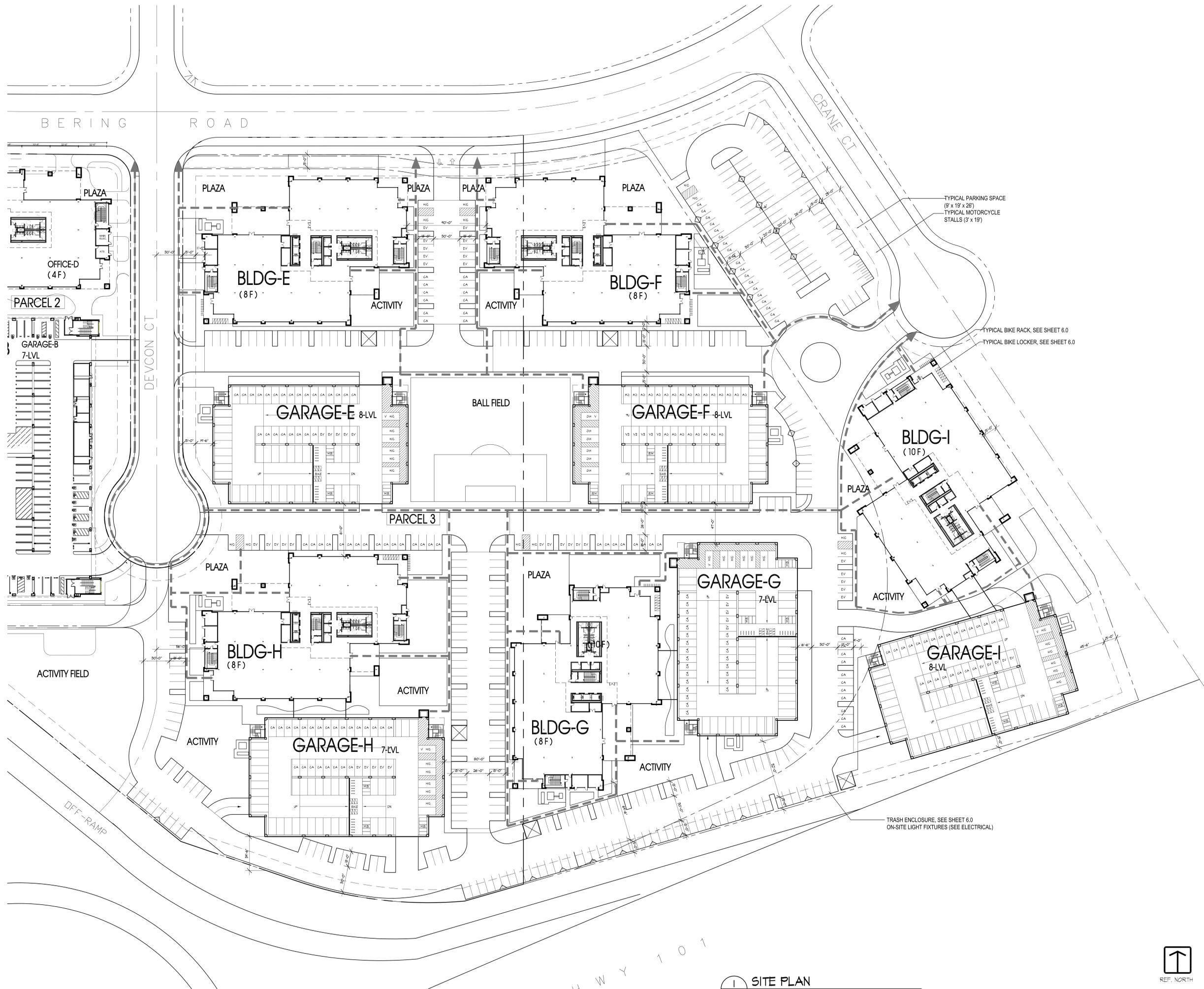


LEGEND:

--- 2016 CBC 11B-206 & 11B-401 ACCESSIBLE ROUTE TYP.

GENERAL NOTES:

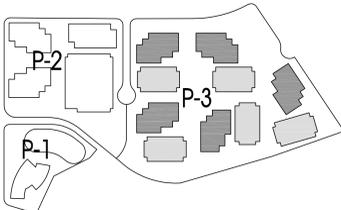
- SEE LANDSCAPE PLANS FOR ALL LANDSCAPE / PAVING LAYOUT AND DETAILS.
- SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE, HORIZONTAL CONTROL PLAN AND PARKING CALCULATIONS AND LOCATIONS.
- "NO PARKING FIRE LANE" SIGN AND CURB MARKINGS SHALL BE INSTALLED AS SPECIFIED BY THE FIRE MARSHALL.
- WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL:
 - BE CONTINUOUSLY ACCESSIBLE.
 - HAVE A MAXIMUM OF 1/2" CHANGE IN ELEVATION (11B-303) OR PROVIDE RAMP'S COMPLYING WITH CBC 11B-405.
 - BE MINIMUM WIDTH OF 48"
 - BE OF SLIP RESISTANT MATERIALS.
 - WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% (1:20), HAVE RAMP'S COMPLYING WITH CBC SECTION 11B-405.
 - PROVIDE DETECTABLE WARNING DEVICES AT VEHICULAR TRAFFIC CROSSING PER CALIFORNIA BUILDING CODE REQUIREMENTS.
- PERMANENTLY SIGNED ROOMS AND SPACES MUST BE PROVIDED WITH RAISED LETTER AND BRAILLE IDENTIFICATION SIGNS. GROUND FLOOR EXIT DOORS SHALL RECEIVE TACTILE EXIT SIGNAGE.
- MAXIMUM RUNNING SLOPE TO BE 5% ALONG THE ACCESSIBLE PATH OF TRAVEL. ANY WALKWAY WITH SLOPE GREATER THAN 5% SHALL BE A RAMP.



TYPICAL PARKING SPACE (9' x 19' x 26')
TYPICAL MOTORCYCLE STALLS (3' x 19')

TYPICAL BIKE RACK, SEE SHEET 6.0
TYPICAL BIKE LOCKER, SEE SHEET 6.0

TRASH ENCLOSURE, SEE SHEET 6.0
ON-SITE LIGHT FIXTURES (SEE ELECTRICAL)



**BROKAW RD OFFICE
PARCEL 3
SAN JOSE, CA**

PEERY-ARRILLAGA

Issues and Revisions			
No.	Date	Issues and Revisions	By
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	06/05/20		

**SITE PLAN
ACCESSIBILITY PLAN**

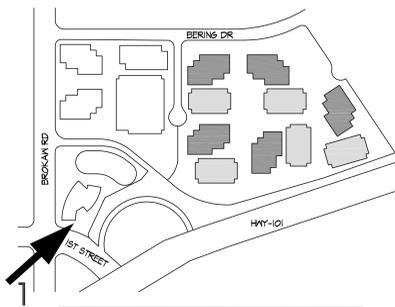
Project Number:	2019A103
Date:	03/10/20
Scale:	1" = 40'





ISOMETRIC 1

KEY MAP



BROKAW RD OFFICE
PARCEL 3

SAN JOSE, CA

PEERY-ARRILLAGA

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No.	Date	Issues and Revisions	By
	03/10/20	PD PERMIT AMMENDMENT	

ISOMETRIC

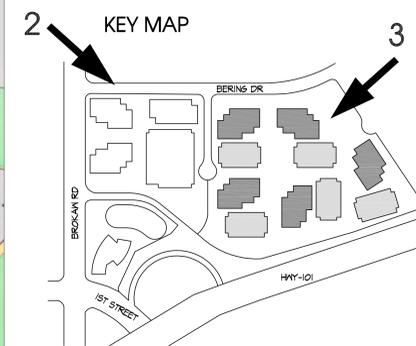
Project Number: 2019A103
Date: 03/10/20
Scale: -



ISOMETRIC 2



ISOMETRIC 3



**BROKAW RD OFFICE
PARCEL 3
SAN JOSE, CA**

PEERY-ARRILLAGA

Issues and Revisions			
No.	Date	Issues and Revisions	By
	03/10/20	PD PERMIT AMMENDMENT	

ISOMETRIC

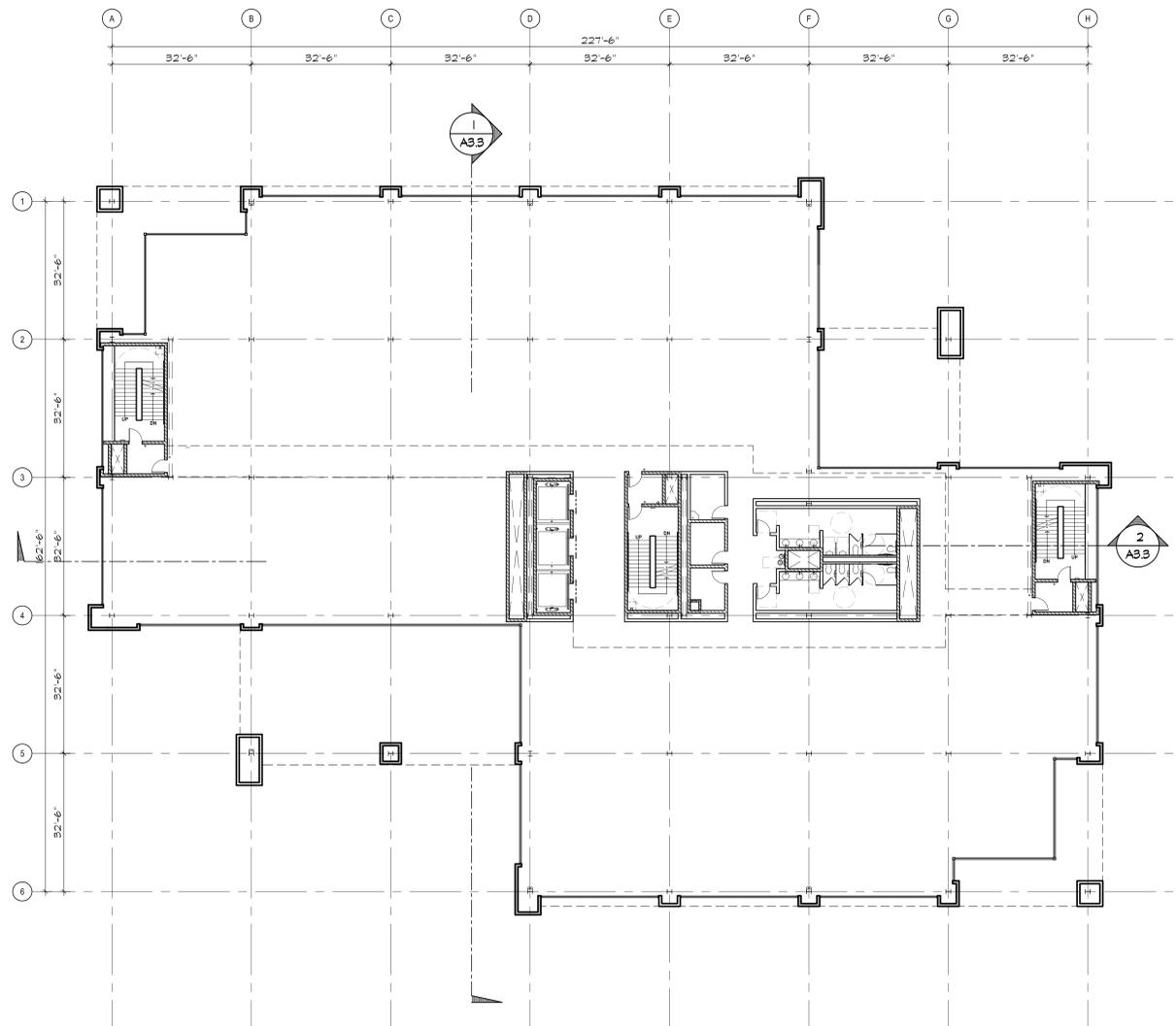
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Date: 03/10/20
Scale: -

LEGEND

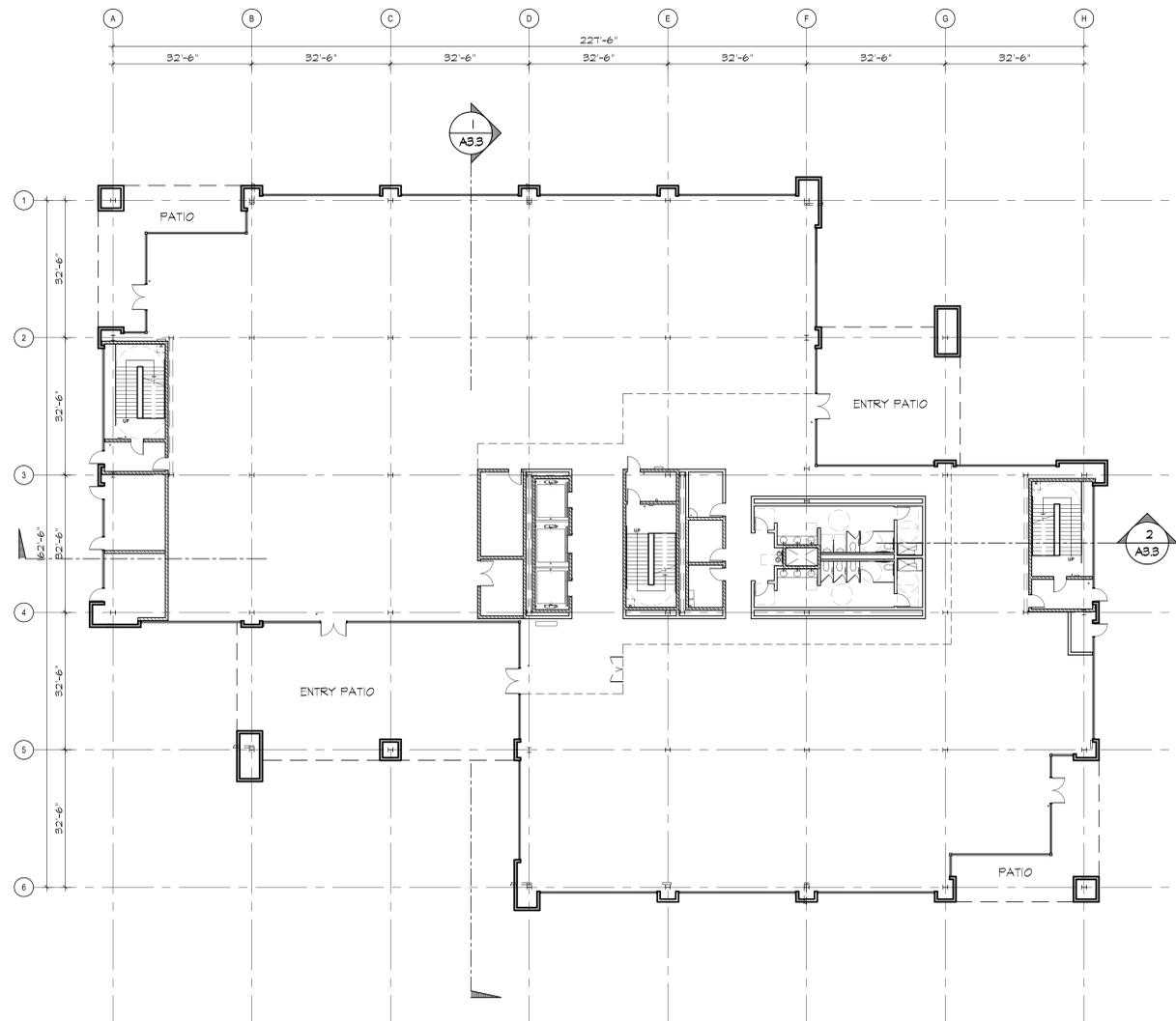
- EXTERIOR WALL METAL WALL PANEL SYSTEM
- EXTERIOR WINDOW SYSTEM
- INTERIOR WALL (NON-RATED) METAL STUD FRAME SYSTEM, U.O.N.
- INTERIOR WALL (1HR-RATED) METAL STUD FRAME SYSTEM, U.O.N.
- INTERIOR WALL (2HR-RATED) METAL STUD FRAME SYSTEM, U.O.N.
- BRACE FRAME ORIENTATION, SEE STRUCT. DWGS.
- RWL RAIN WATER LEADER TO EXTEND 5' BEYOND BLDG. SLAB EDGE, SEE CIVIL & PLUMBING PLANS
- OD OVERFLOW DRAIN DAYLIGHTS AT WALL, SEE ELEVATIONS
- AD AREA DRAIN, SEE PLUMBING
- * TACTILE EXIT SIGN
- DOOR TYPE DESIGNATION, SEE DOOR SCHEDULE
- ◇ WINDOW TYPE DESIGNATION, SEE WINDOW SCHEDULE
- P INDICATES PANIC HARDWARE

GENERAL NOTES

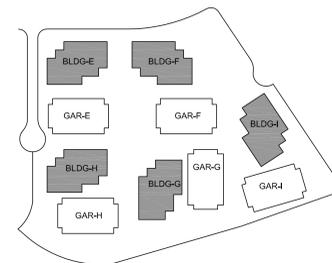
1. NOT ALL SHEET NOTES APPLY TO THIS SHEET
2. SEE SHEET A9.2 FOR WALL DETAILS
3. SEE LANDSCAPE AND CIVIL PLANS FOR INFORMATION AND DETAILS FOR ALL EXTERIOR FLAT WORK AND CONCRETE PAVING
4. SLOPES AT ALL LANDINGS SHALL NOT EXCEED 2% IN ANY DIRECTION.



2 2nd FLOOR PLAN
A2.1 SCALE: 1/16" = 1'-0"



1 1st FLOOR PLAN
A2.1 SCALE: 1/16" = 1'-0"



BROKAW RD OFFICE
PARCEL 3
SAN JOSE, CA

PEERY-ARRILLAGA

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No.	Date	Issues and Revisions	By
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BLDG E/F/G/H/I
1st/2nd FLOOR PLAN

Project Number:	2019A103
Date:	03/10/20
Scale:	1/8" = 1'-0"

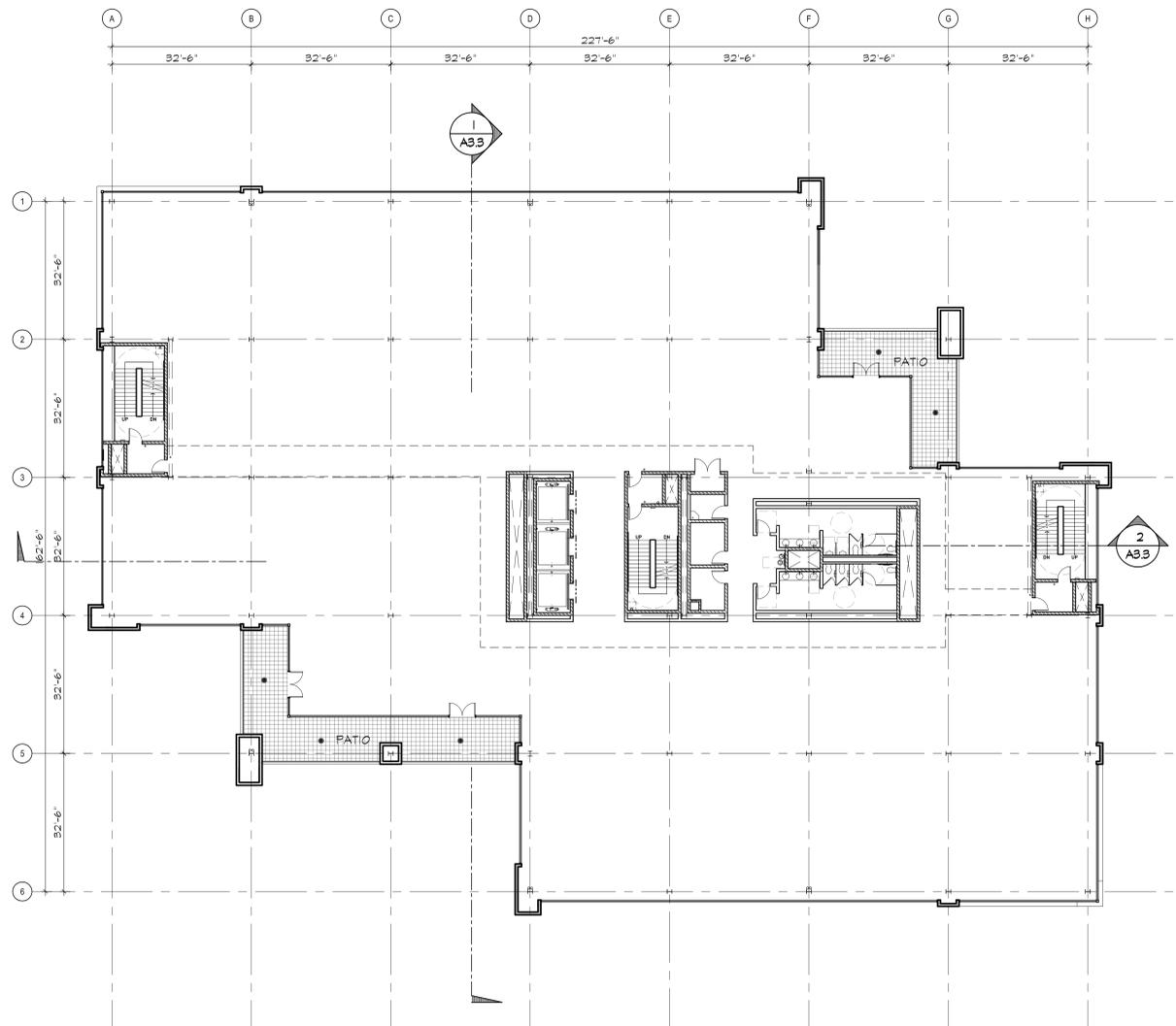
A2-1

LEGEND

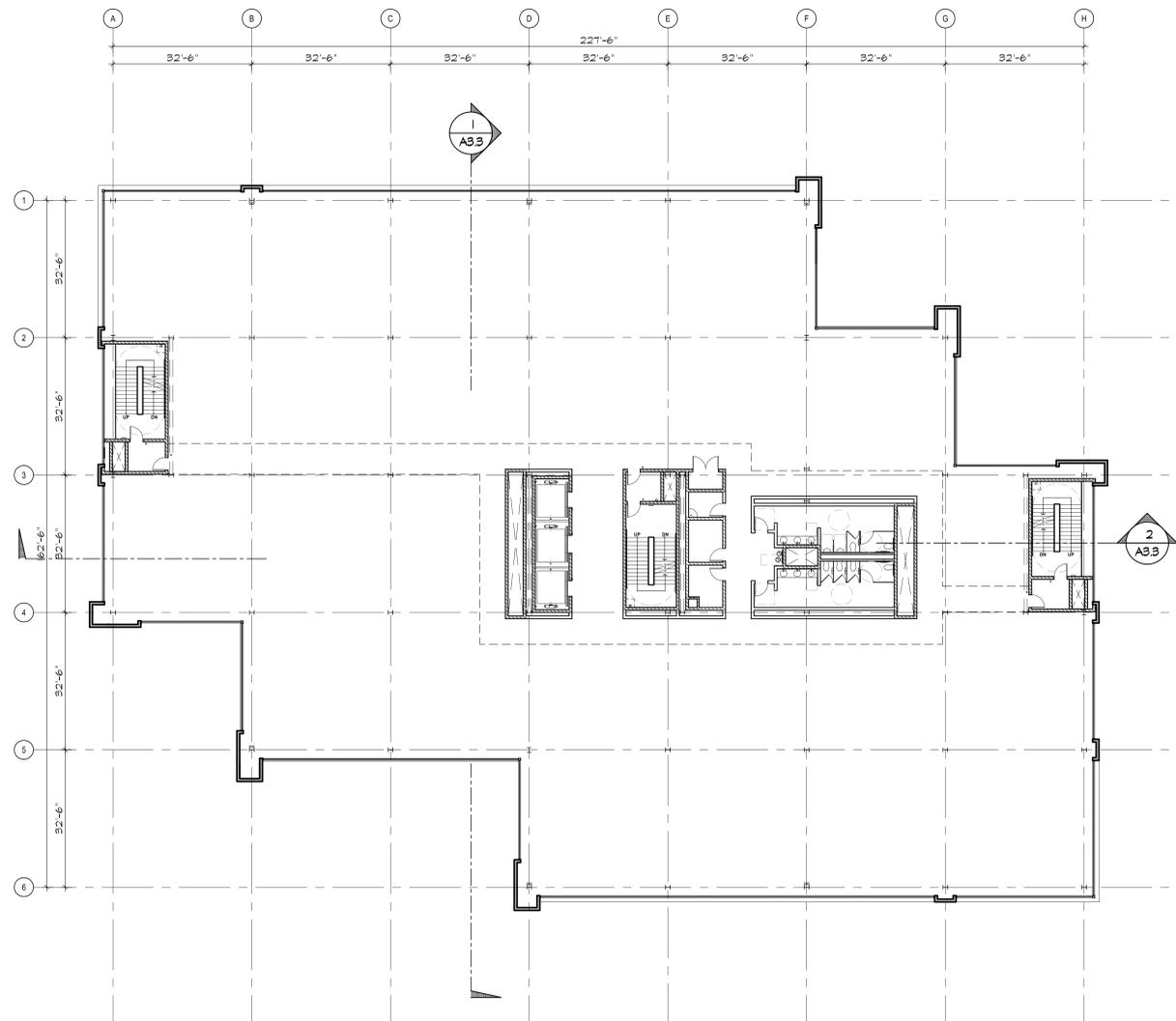
- EXTERIOR WALL
- METAL WALL PANEL SYSTEM
- EXTERIOR WINDOW SYSTEM
- INTERIOR WALL (NON-RATED)
- METAL STUD FRAME SYSTEM, U.O.N.
- INTERIOR WALL (1HR-RATED)
- METAL STUD FRAME SYSTEM, U.O.N.
- INTERIOR WALL (2HR-RATED)
- METAL STUD FRAME SYSTEM, U.O.N.
- BRACE FRAME ORIENTATION, SEE STRUCT. DWGS.
- RWL RAIN WATER LEADER TO EXTEND 5' BEYOND BLDG. SLAB EDGE, SEE CIVIL & PLUMBING PLANS
- OD OVERFLOW DRAIN DAYLIGHTS AT WALL, SEE ELEVATIONS
- AD AREA DRAIN, SEE PLUMBING
- * TACTILE EXIT SIGN
- DOOR TYPE DESIGNATION, SEE DOOR SCHEDULE
- ◇ WINDOW TYPE DESIGNATION, SEE WINDOW SCHEDULE
- P INDICATES PANIC HARDWARE

GENERAL NOTES

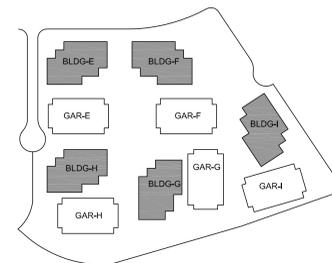
1. NOT ALL SHEET NOTES APPLY TO THIS SHEET
2. SEE SHEET A9.2 FOR WALL DETAILS
3. SEE LANDSCAPE AND CIVIL PLANS FOR INFORMATION AND DETAILS FOR ALL EXTERIOR FLAT WORK AND CONCRETE PAVING
4. SLOPES AT ALL LANDINGS SHALL NOT EXCEED 2% IN ANY DIRECTION.



2 7th FLOOR PLAN
A2.2 SCALE: 1/16" = 1'-0"



1 3rd-6th FLOOR PLAN
A2.2 SCALE: 1/16" = 1'-0"



BROKAW RD OFFICE
PARCEL 3
SAN JOSE, CA

PEERY-ARRILLAGA

Issues and Revisions			
No.	Date	Issues and Revisions	By
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BLDG E/F/G/H/I
3rd-6th FLOOR PLAN
7th FLOOR PLAN

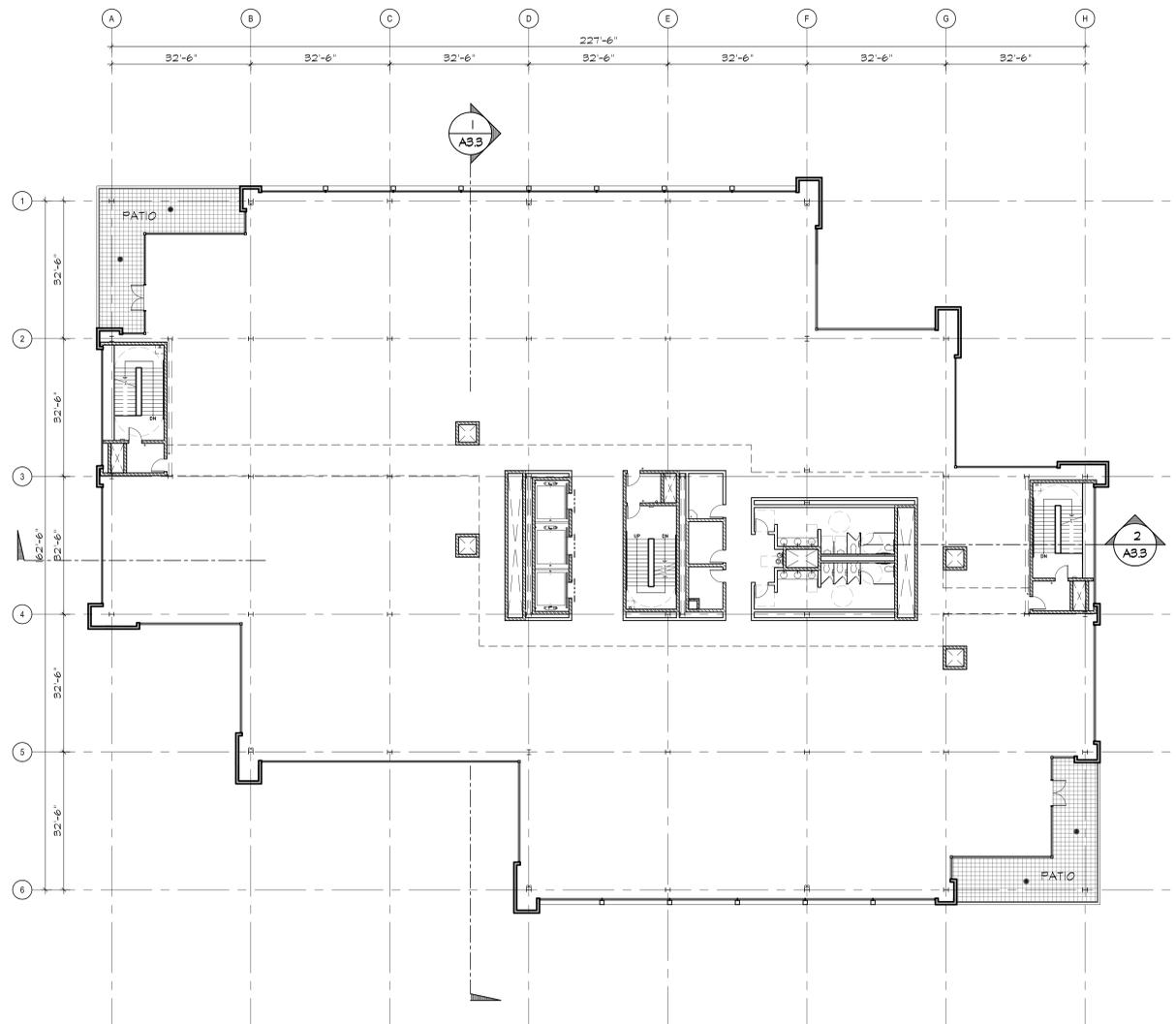
Project Number: 2019A103
Date: 03/10/20
Scale: 1/8" = 1'-0"

LEGEND

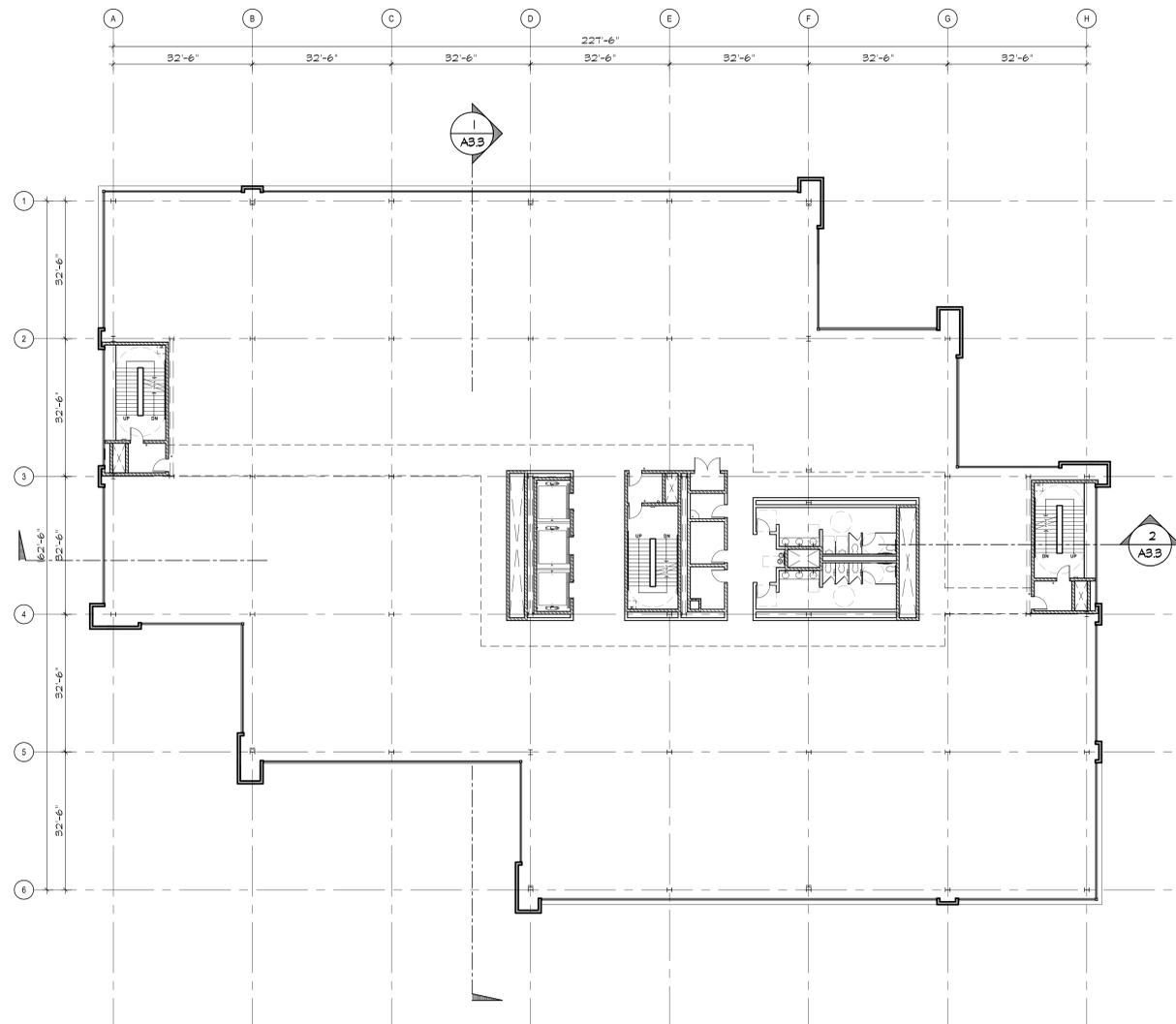
- EXTERIOR WALL
- METAL WALL PANEL SYSTEM
- EXTERIOR WINDOW SYSTEM
- INTERIOR WALL (NON-RATED)
- METAL STUD FRAME SYSTEM, U.O.N.
- INTERIOR WALL (1HR-RATED)
- METAL STUD FRAME SYSTEM, U.O.N.
- INTERIOR WALL (2HR-RATED)
- METAL STUD FRAME SYSTEM, U.O.N.
- BRACE FRAME ORIENTATION, SEE STRUCT. DWGS.
- RWL RAIN WATER LEADER TO EXTEND 5' BEYOND BLDG. SLAB EDGE, SEE CIVIL & PLUMBING PLANS
- OD OVERFLOW DRAIN DAYLIGHTS AT WALL, SEE ELEVATIONS
- AD AREA DRAIN, SEE PLUMBING
- * TACTILE EXIT SIGN
- DOOR TYPE DESIGNATION, SEE DOOR SCHEDULE
- ◇ WINDOW TYPE DESIGNATION, SEE WINDOW SCHEDULE
- P INDICATES PANIC HARDWARE

GENERAL NOTES

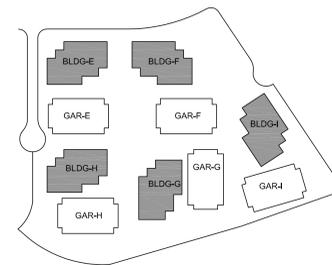
1. NOT ALL SHEET NOTES APPLY TO THIS SHEET
2. SEE SHEET A9.2 FOR WALL DETAILS
3. SEE LANDSCAPE AND CIVIL PLANS FOR INFORMATION AND DETAILS FOR ALL EXTERIOR FLAT WORK AND CONCRETE PAVING
4. SLOPES AT ALL LANDINGS SHALL NOT EXCEED 2% IN ANY DIRECTION.



2 TOP/10th FLOOR PLAN
A2.3 SCALE: 1/16" = 1'-0"



1 8th-9th FLOOR PLAN
A2.3 SCALE: 1/16" = 1'-0"



BROKAW RD OFFICE
PARCEL 3
SAN JOSE, CA

PEERY-ARRILLAGA
Issues and Revisions
No. Date Issues and Revisions By
03/10/20 PD PERMIT AMMENDMENT

BLDG E/F/G/H/I
8th-9th FLOOR PLAN
10th FLOOR PLAN

Project Number: 2019A103
Date: 03/10/20
Scale: 1/8" = 1'-0"

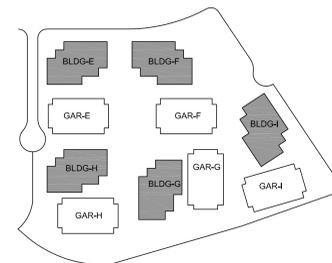
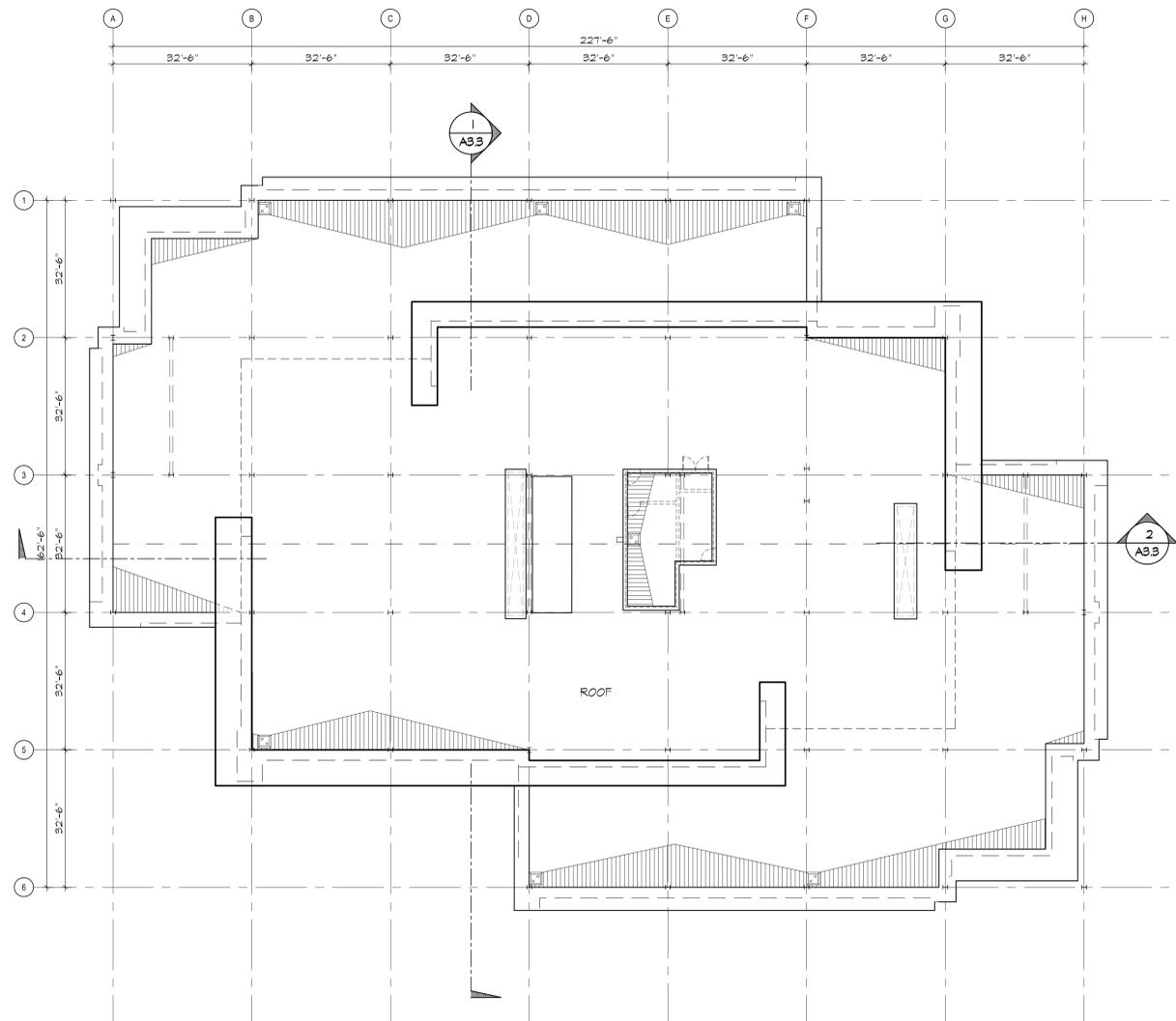
A2-3

LEGEND

- EXTERIOR WALL
- METAL WALL PANEL SYSTEM
- EXTERIOR WINDOW SYSTEM
- INTERIOR WALL (NON-RATED)
- METAL STUD FRAME SYSTEM, U.O.N.
- INTERIOR WALL (1HR-RATED)
- METAL STUD FRAME SYSTEM, U.O.N.
- INTERIOR WALL (2HR-RATED)
- METAL STUD FRAME SYSTEM, U.O.N.
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- OD OVERFLOW DRAIN DAYLIGHTS AT WALL, SEE ELEVATIONS
- AD AREA DRAIN, SEE PLUMBING
- * TACTILE EXIT SIGN
- ◻ DOOR TYPE DESIGNATION, SEE DOOR SCHEDULE
- ◻ WINDOW TYPE DESIGNATION, SEE WINDOW SCHEDULE
- P INDICATES PANIC HARDWARE

GENERAL NOTES

1. NOT ALL SHEET NOTES APPLY TO THIS SHEET
2. SEE SHEET A9.2 FOR WALL DETAILS
3. SEE LANDSCAPE AND CIVIL PLANS FOR INFORMATION AND DETAILS FOR ALL EXTERIOR FLAT WORK AND CONCRETE PAVING
4. SLOPES AT ALL LANDINGS SHALL NOT EXCEED 2% IN ANY DIRECTION.



BROKAW RD OFFICE
PARCEL 3
SAN JOSE, CA

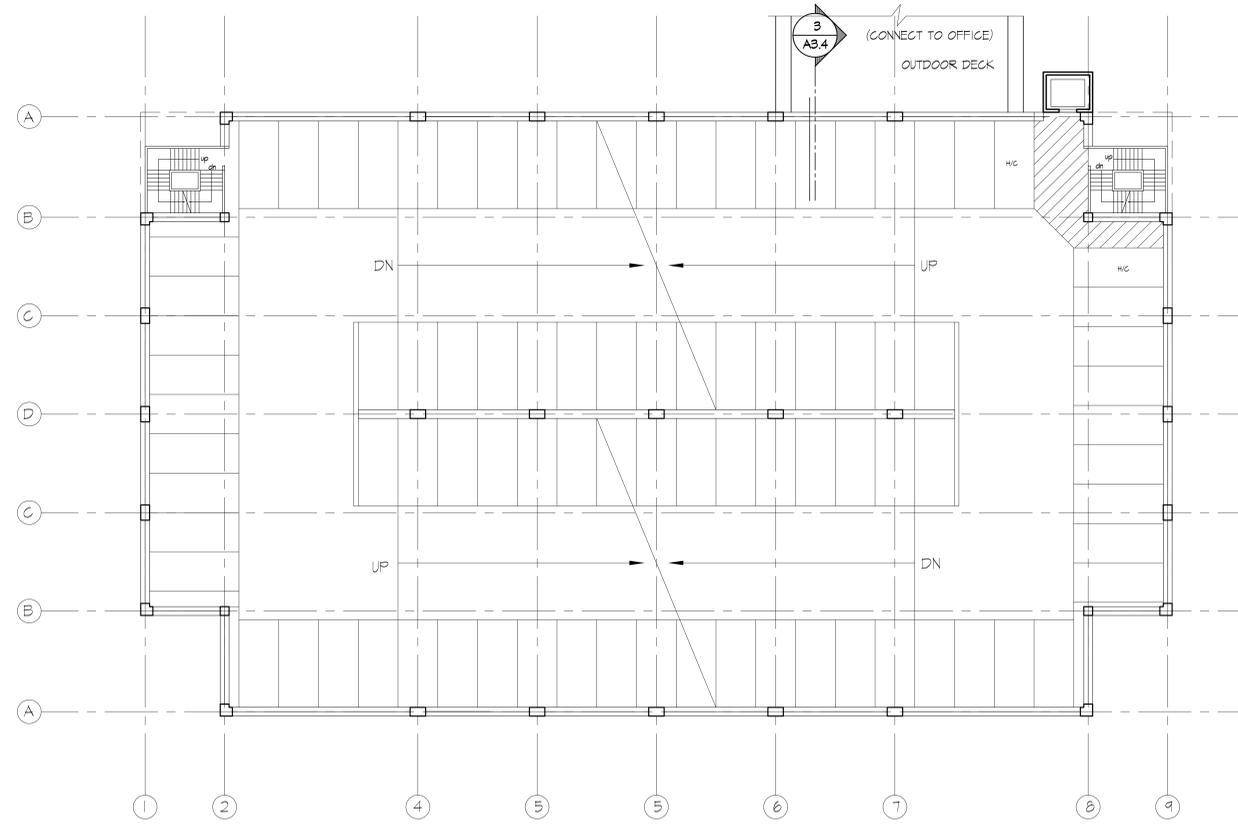
PEERY-ARRILLAGA

Issues and Revisions		
No.	Date	Issues and Revisions
	03/10/20	PD PERMIT AMMENDMENT

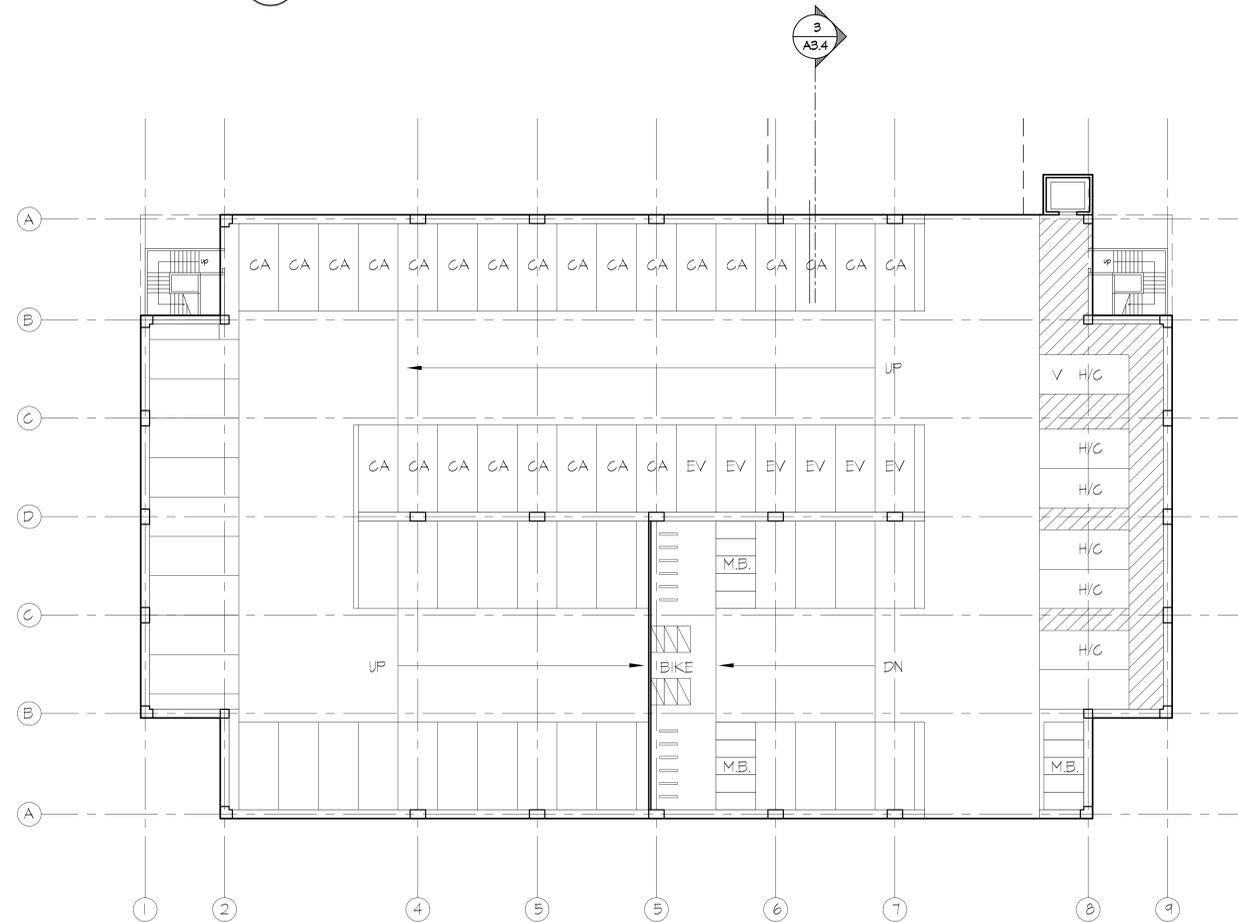
BLDG E/F/G/H/I
ROOF FLOOR PLAN

Project Number: 2019A103
Date: 03/10/20
Scale: 1/8" = 1'-0"

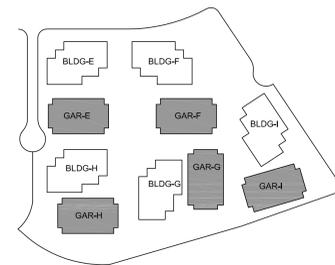
1 ROOF FLOOR PLAN
A2.4 SCALE: 1/8" = 1'-0"



2 GARAGE TYPICAL LEVEL PLAN
A2.5 SCALE: 1/16" = 1'-0"



1 GARAGE 1ST LEVEL PLAN
A2.5 SCALE: 1/16" = 1'-0"



BROKAW RD OFFICE
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PEERY-ARRILLAGA

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**GARAGE E/F/G/H/I
FLOOR PLANS**

Project Number: 2019A103
Date: 03/10/20
Scale: 1/8" = 1'-0"

SHEET KEYNOTES

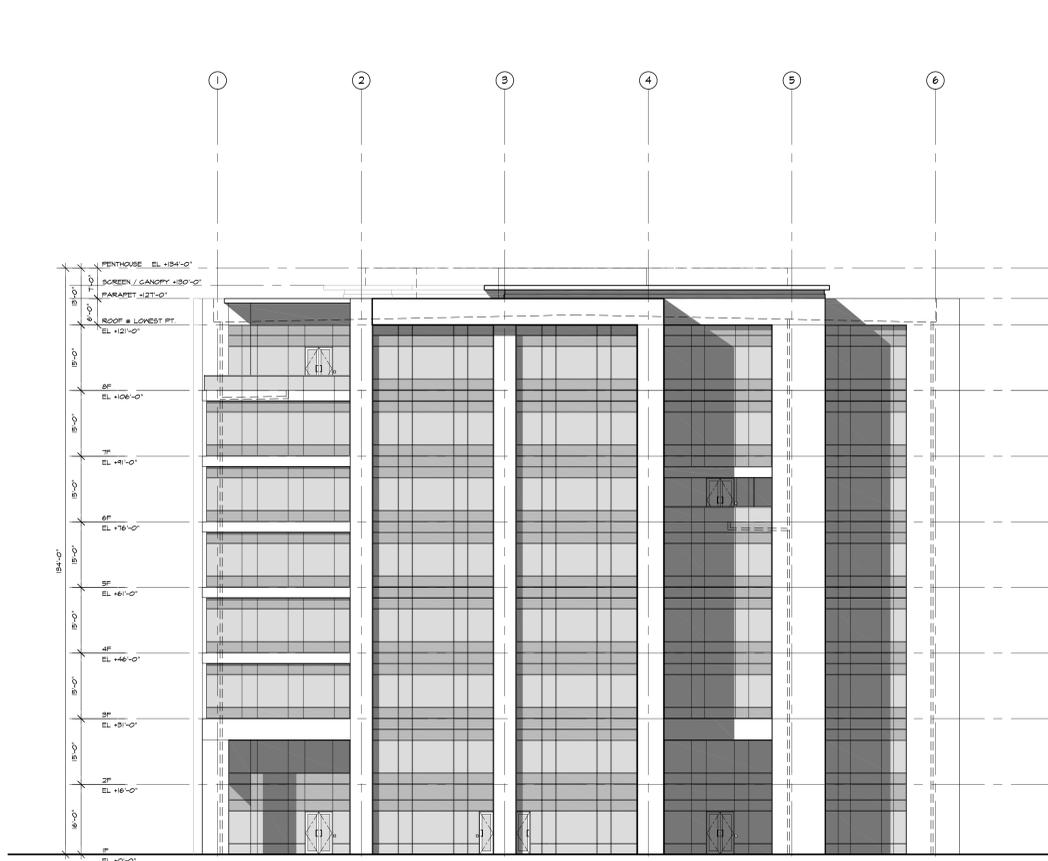
- 1 STRUCTURAL EXTERIOR GLAZING SYSTEM, VISION GLAZING TYPE 1
- 2 STRUCTURAL EXTERIOR GLAZING SYSTEM, SPANDREL GLAZING TYPE 2
- 3 METAL WALL PANEL SYSTEM
- 4 STOREFRONT ENTRY DOOR
- 5 6" X 6" ACCESSIBILITY WINDOW DECAL PER CBC SECTION 11B-703
- 6 ALUMINUM CANOPY
- 7 FUTURE HVAC ROOF SCREEN, METAL PANEL SYSTEM
- 8 LINE OF ROOF DRAINS & OVERFLOW DRAINS BEYOND, CONNECT TO UNDERGROUND STORM WATER SYSTEM. SEE CIVIL AND PLUMBING PLANS

COLOR & MATERIALS LEGEND

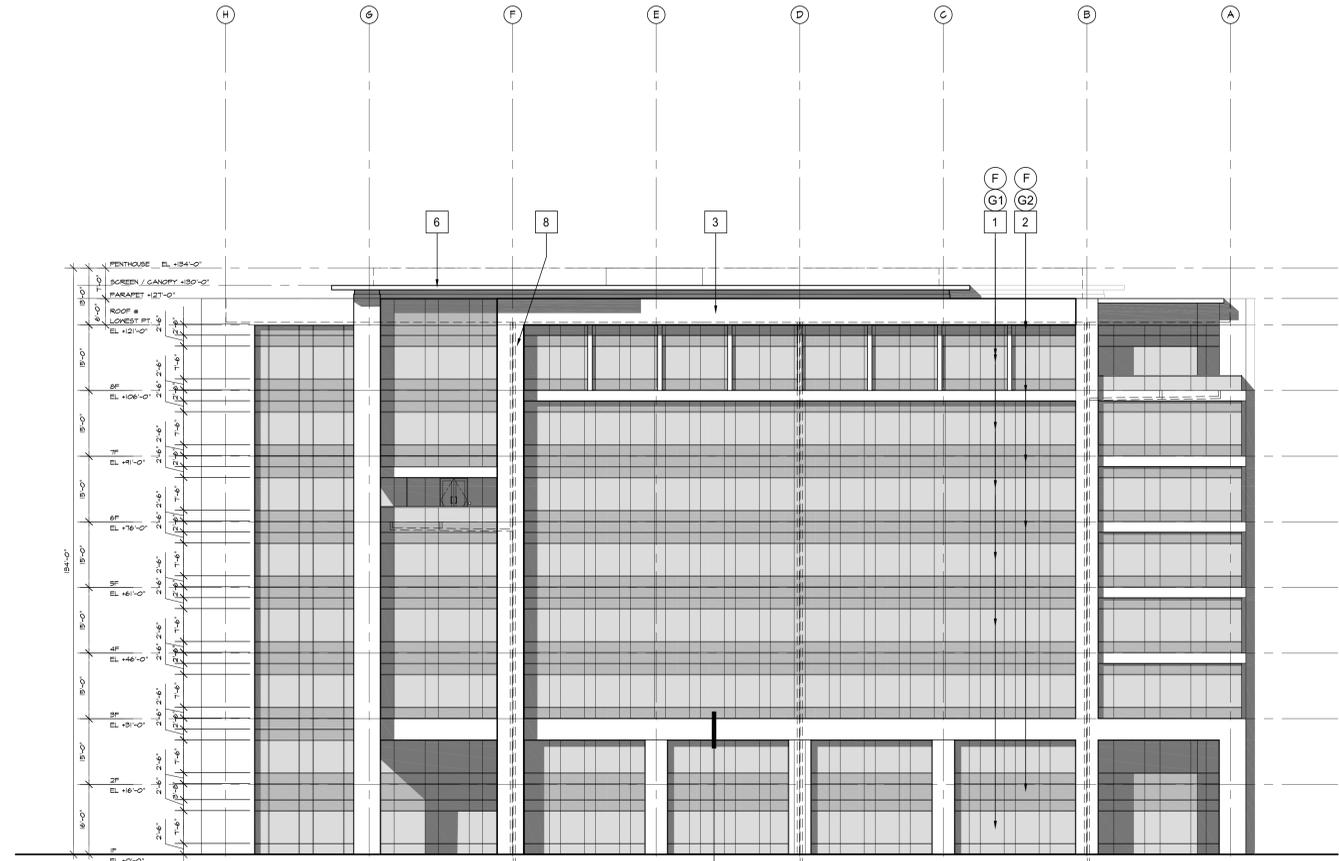
- METAL PANEL
- TINTED GLAZING
- SPANDREL GLAZING
- MB METAL PANEL SYSTEM - TO MATCH DURANAR SUNSTORM - SILVERSMITH UC70092F
- F WINDOW FRAME - PPG DURANAR SUNSTORM - SILVERSMITH UC70092F
- G1 GLAZING 1: (VISION) VIRACON VE27-2M, PACIFIC BLUE
- G2 GLAZING 2: (SPANDREL) VIRACON VE27-2M, PACIFIC BLUE WITH THEATER GREEN SPANDREL #4

GENERAL NOTES

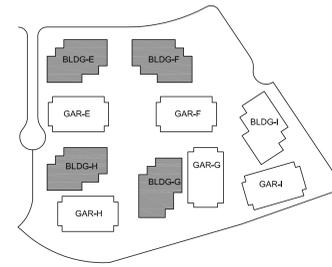
1. NOT ALL NOTES APPLY TO THIS SHEET
2. SEE TITLE 24 ENERGY REPORT FOR GLAZING PERFORMANCE AND WALL / ROOF INSULATION REQUIREMENTS.



2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



BROKAW RD OFFICE
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BLDG E/F/G/H
ELEVATIONS

Project Number: 2019A103
Date: 03/10/20
Scale: 1/8" = 1'-0"

A3-1

SHEET KEYNOTES

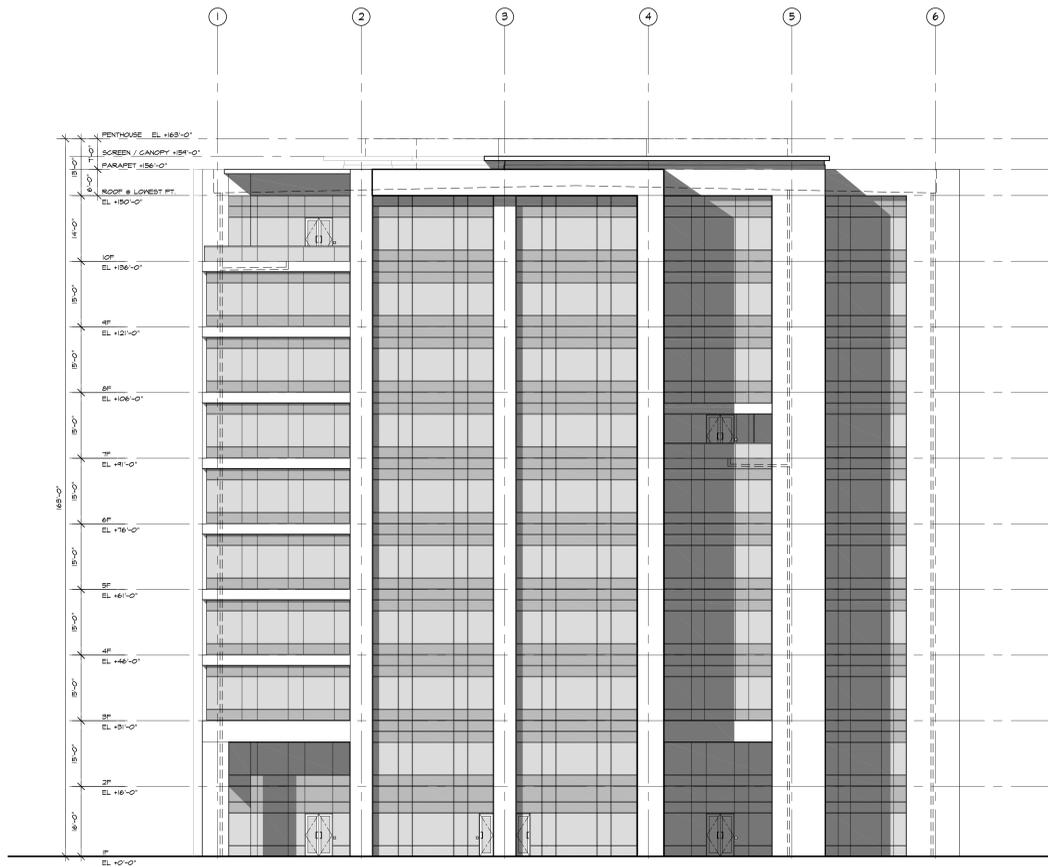
- 1 STRUCTURAL EXTERIOR GLAZING SYSTEM, VISION GLAZING TYPE 1
- 2 STRUCTURAL EXTERIOR GLAZING SYSTEM, SPANDREL GLAZING TYPE 2
- 3 METAL WALL PANEL SYSTEM
- 4 STOREFRONT ENTRY DOOR
- 5 6" X 6" ACCESSIBILITY WINDOW DECAL PER CBC SECTION 11B-703
- 6 ALUMINUM CANOPY
- 7 FUTURE HVAC ROOF SCREEN, METAL PANEL SYSTEM
- 8 LINE OF ROOF DRAINS & OVERFLOW DRAINS BEYOND, CONNECT TO UNDERGROUND STORM WATER SYSTEM. SEE CIVIL AND PLUMBING PLANS

COLOR & MATERIALS LEGEND

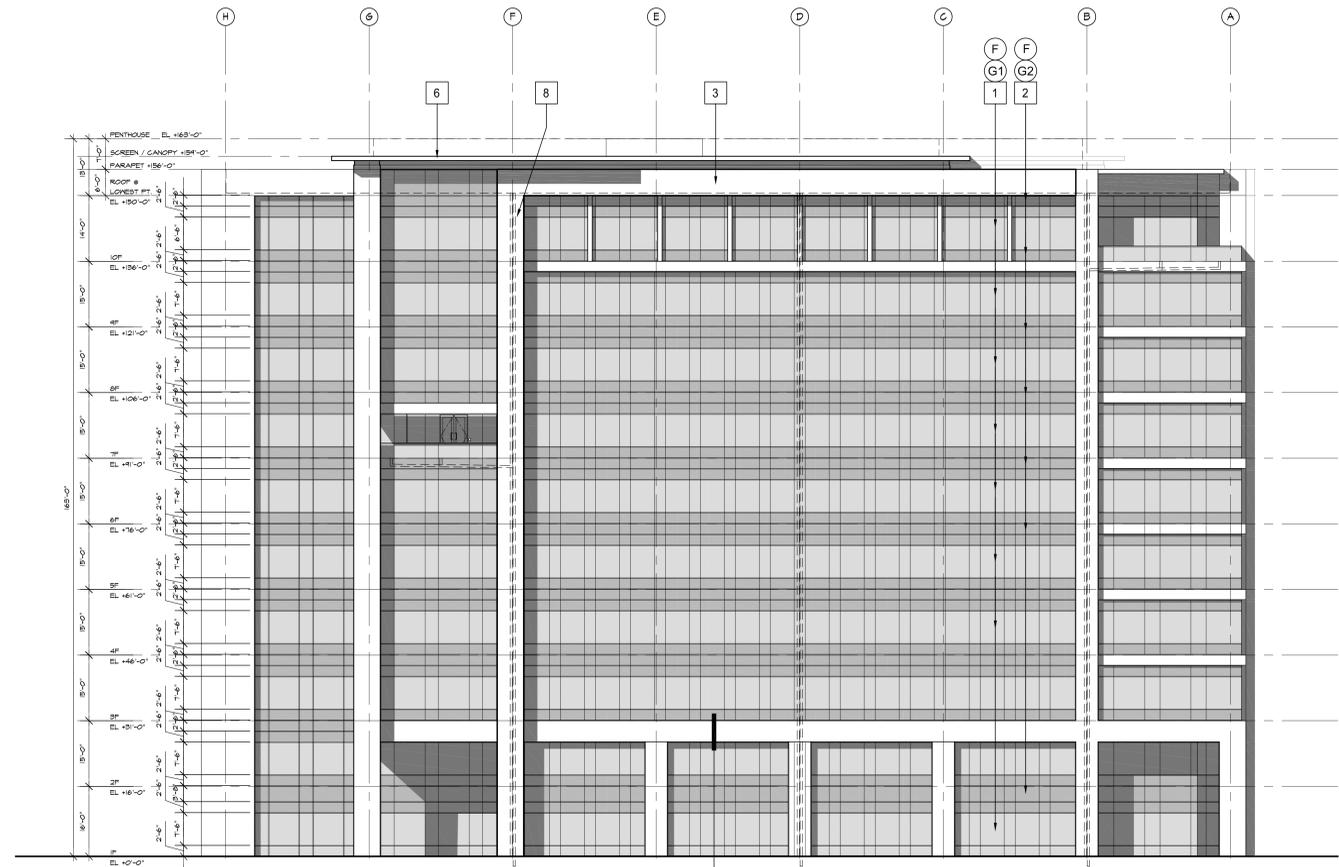
- METAL PANEL
- TINTED GLAZING
- SPANDREL GLAZING
- MB METAL PANEL SYSTEM - TO MATCH DURANAR SUNSTORM - SILVERSMITH UC70092F
- F WINDOW FRAME - PPG DURANAR SUNSTORM - SILVERSMITH UC70092F
- G1 GLAZING 1: (VISION) VIRACON VE27-2M, PACIFIC BLUE
- G2 GLAZING 2: (SPANDREL) VIRACON VE27-2M, PACIFIC BLUE WITH THEATER GREEN SPANDREL #4

GENERAL NOTES

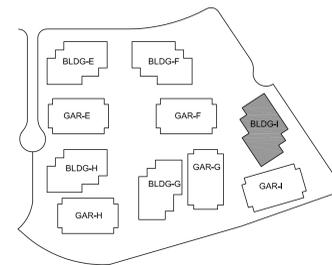
1. NOT ALL NOTES APPLY TO THIS SHEET
2. SEE TITLE 24 ENERGY REPORT FOR GLAZING PERFORMANCE AND WALL / ROOF INSULATION REQUIREMENTS.



2 WEST ELEVATION
A3.1 SCALE: 1/16" = 1'-0"



1 NORTH ELEVATION
A3.1 SCALE: 1/16" = 1'-0"



BROKAW RD OFFICE
PARCEL 3
SAN JOSE, CA

PEERY-ARRILLAGA

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BLDG I ELEVATIONS

Project Number: 2019A103
Date: 03/10/20
Scale: 1/8" = 1'-0"

A3-1A

SHEET KEYNOTES

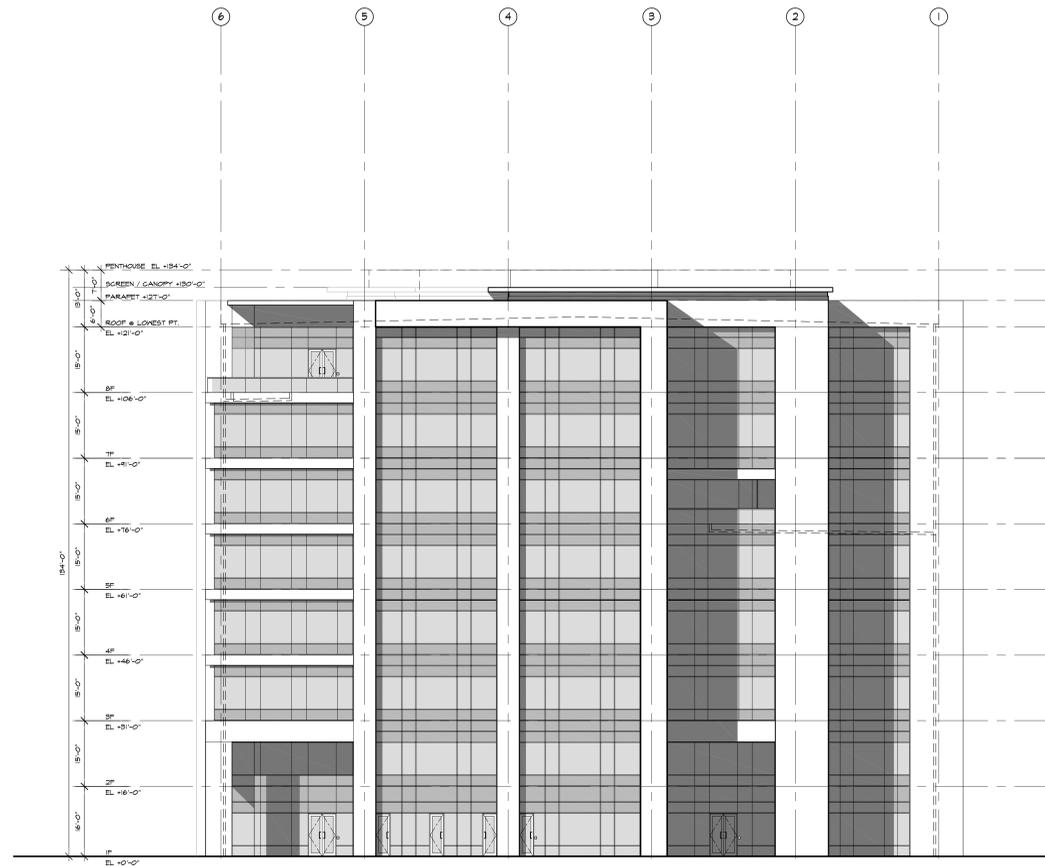
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COLOR & MATERIALS LEGEND

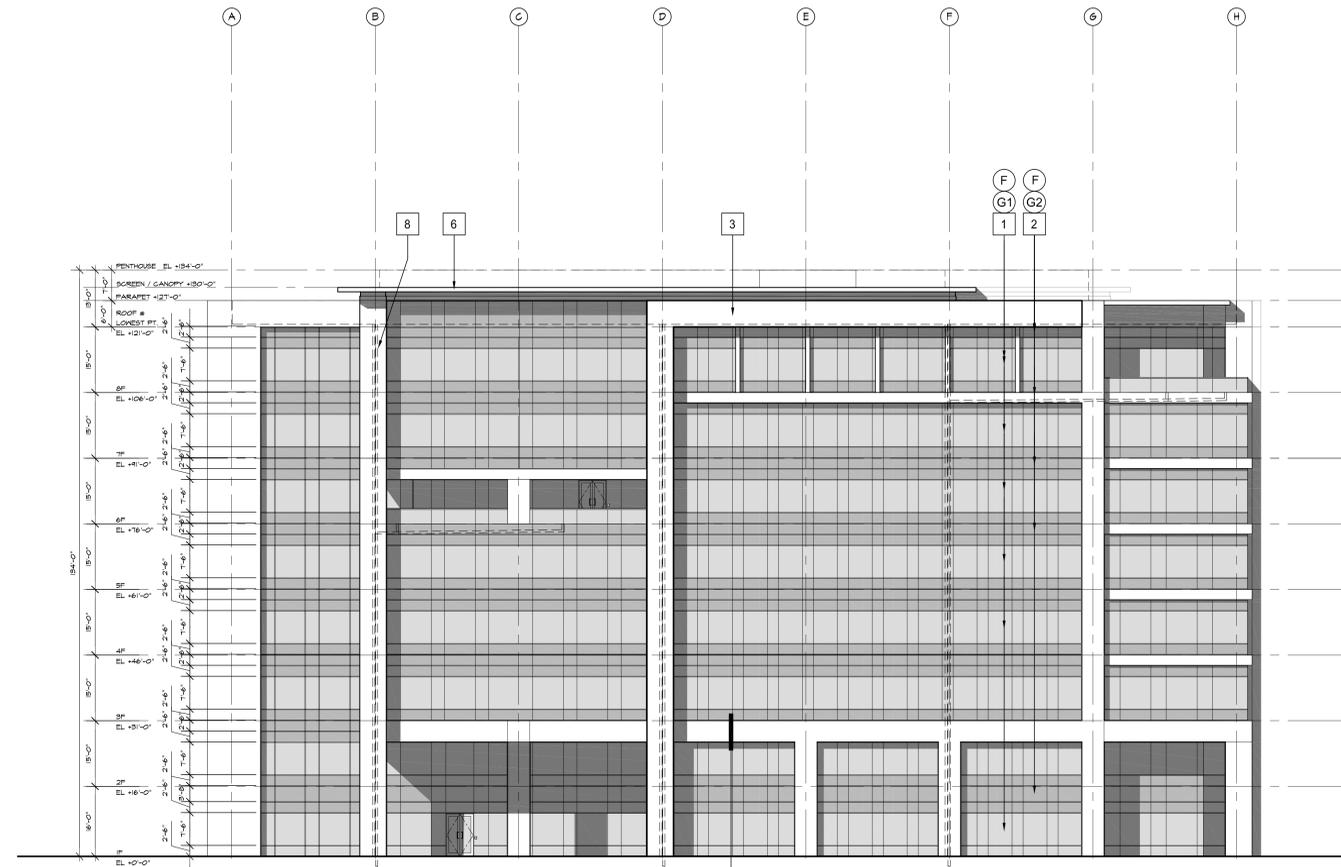
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GENERAL NOTES

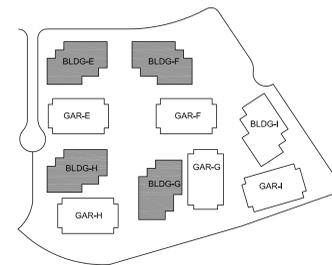
1. NOT ALL NOTES APPLY TO THIS SHEET
2. SEE TITLE 24 ENERGY REPORT FOR GLAZING PERFORMANCE AND WALL / ROOF INSULATION REQUIREMENTS.



2 EAST ELEVATION
SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



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BLDG E/F/G/H
ELEVATIONS

Project Number:	2019A103
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Scale:	1/8" = 1'-0"

A3-2

SHEET KEYNOTES

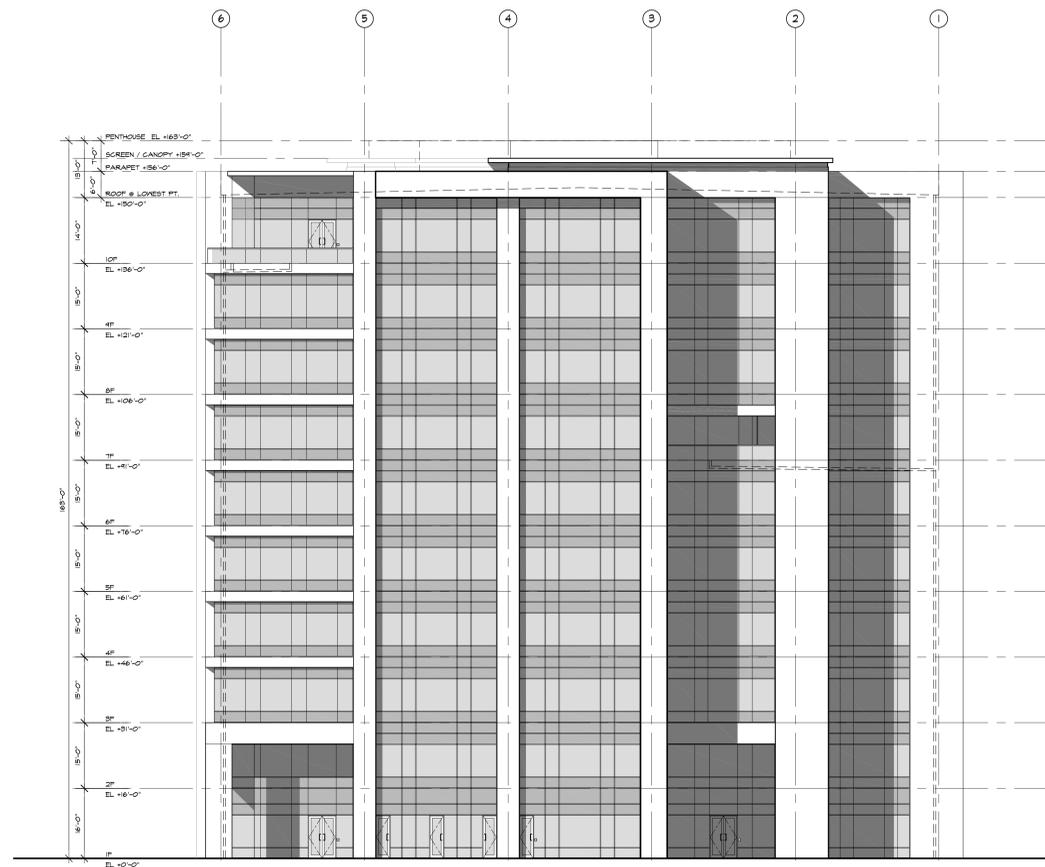
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- 2 STRUCTURAL EXTERIOR GLAZING SYSTEM, SPANDREL GLAZING TYPE 2
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COLOR & MATERIALS LEGEND

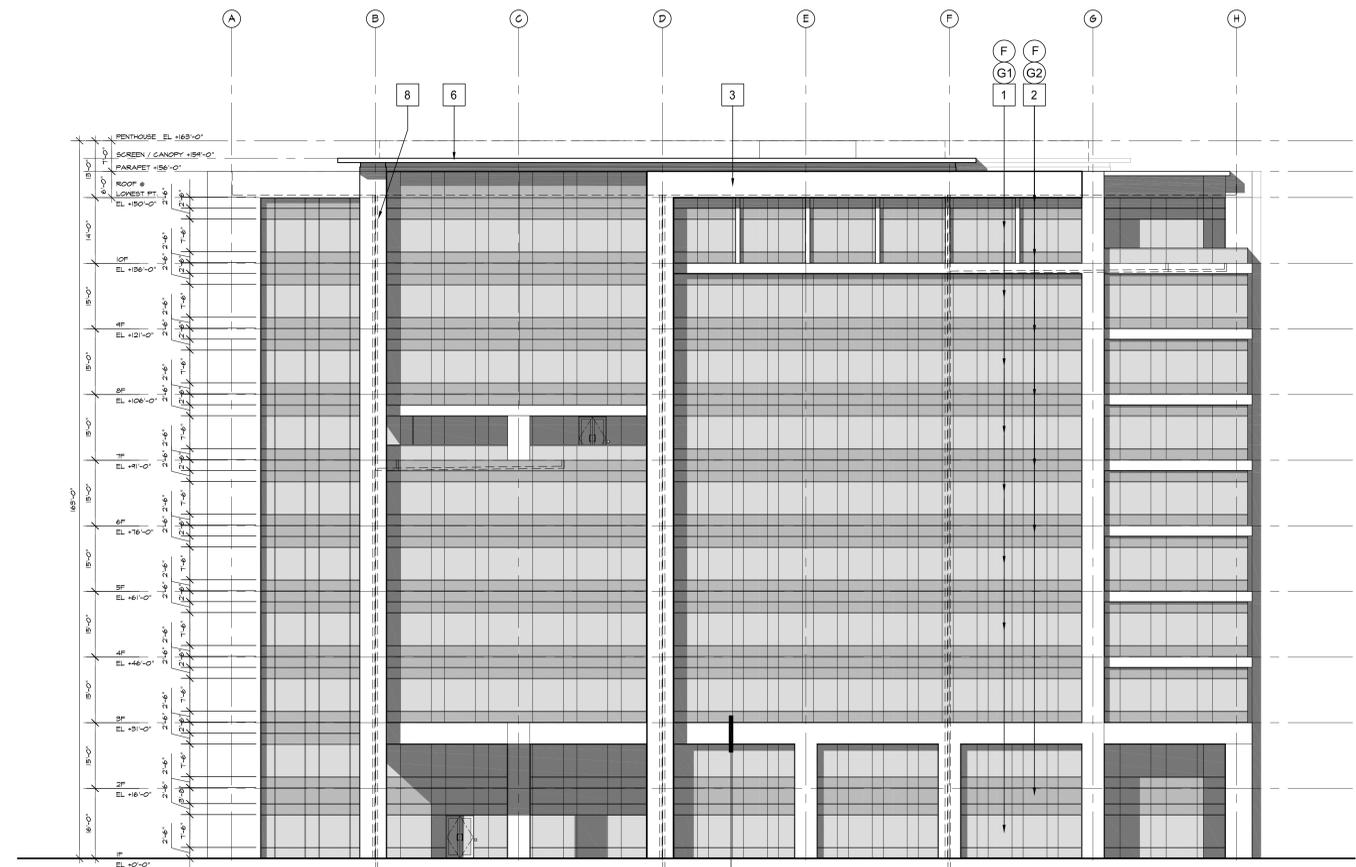
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- TINTED GLAZING
- SPANDREL GLAZING
- MB METAL PANEL SYSTEM - TO MATCH DURANAR SUNSTORM - SILVERSMITH UC70092F
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GENERAL NOTES

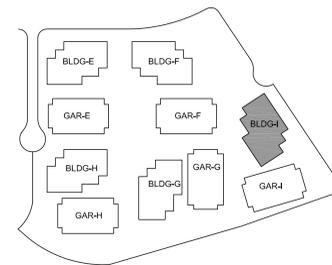
1. NOT ALL NOTES APPLY TO THIS SHEET
2. SEE TITLE 24 ENERGY REPORT FOR GLAZING PERFORMANCE AND WALL / ROOF INSULATION REQUIREMENTS.



2 EAST ELEVATION
A3.2 SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION
A3.2 SCALE: 1/16" = 1'-0"



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BLDG 1
ELEVATIONS

Project Number: 2019A103
Date: 03/10/20
Scale: 1/8" = 1'-0"

A3-2A

SHEET KEYNOTES

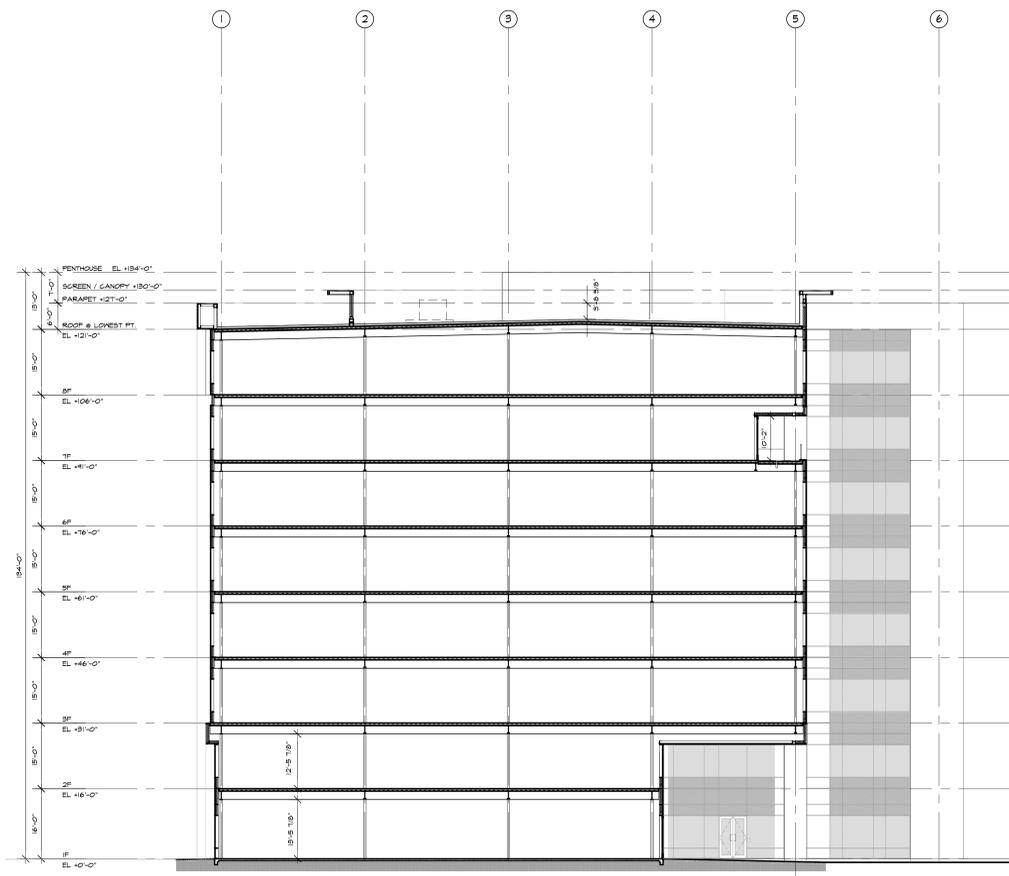
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COLOR & MATERIALS LEGEND

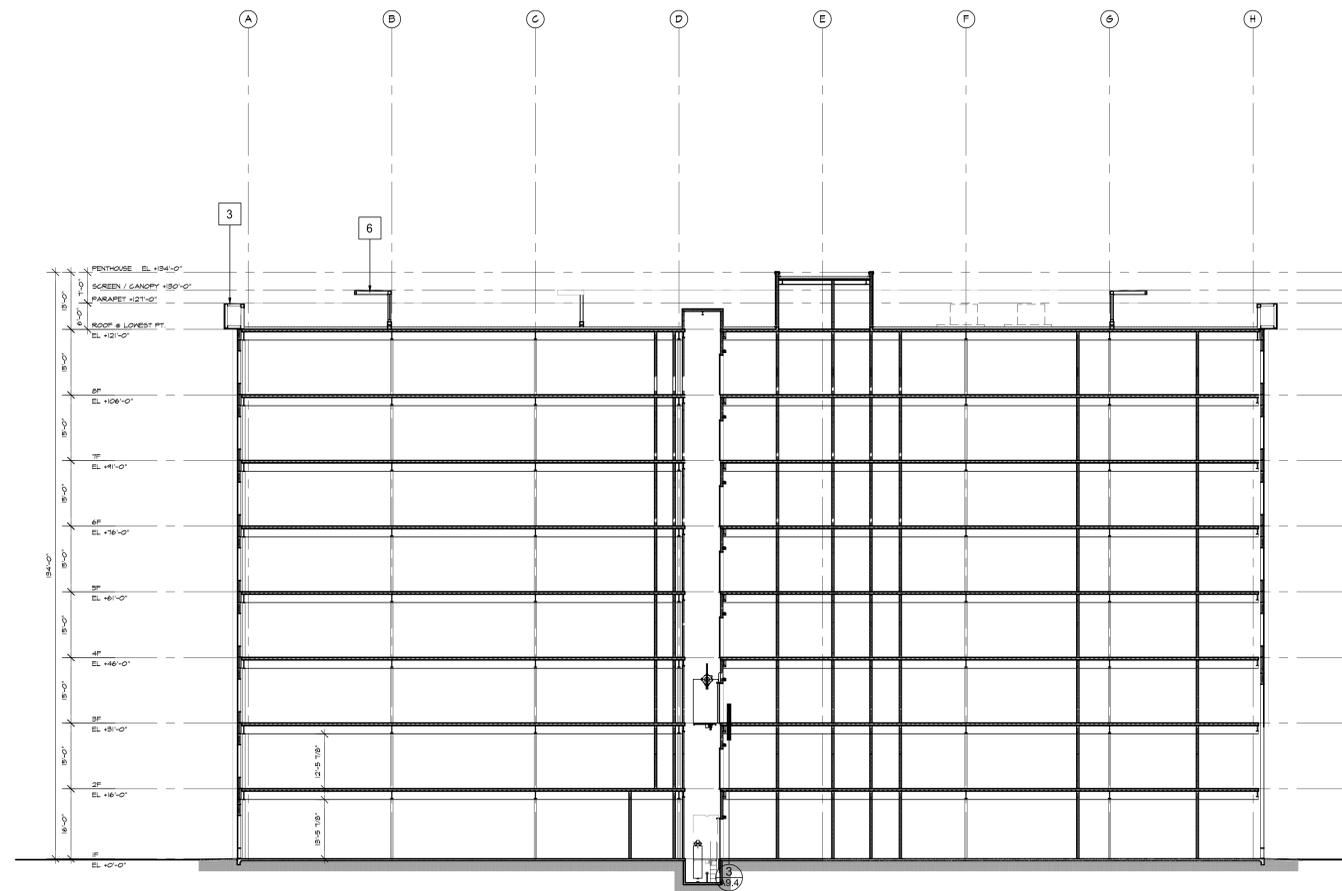
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- TINTED GLAZING
- SPANDREL GLAZING
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GENERAL NOTES

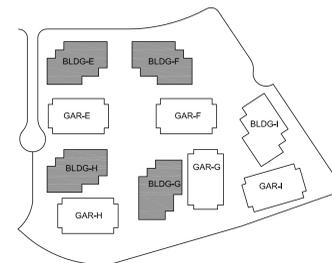
1. NOT ALL NOTES APPLY TO THIS SHEET
2. SEE TITLE 24 ENERGY REPORT FOR GLAZING PERFORMANCE AND WALL / ROOF INSULATION REQUIREMENTS.



2 SECTION B-B
A3.3 SCALE: 1/16" = 1'-0"



1 SECTION A-A
A3.3 SCALE: 1/16" = 1'-0"



BROKAW RD OFFICE
PARCEL 3
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BLDG E/F/G/H
SECTIONS

Project Number: 2019A103
Date: 03/10/20
Scale: 1/8" = 1'-0"

A3-3

SHEET KEYNOTES

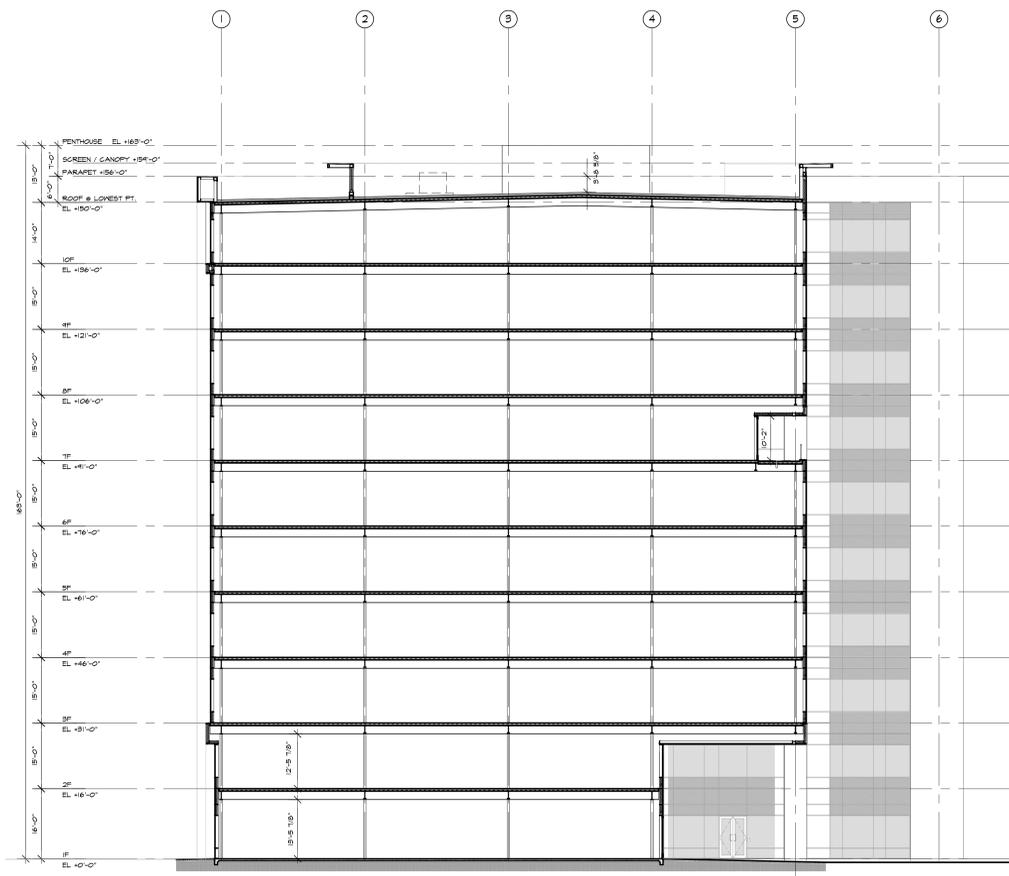
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COLOR & MATERIALS LEGEND

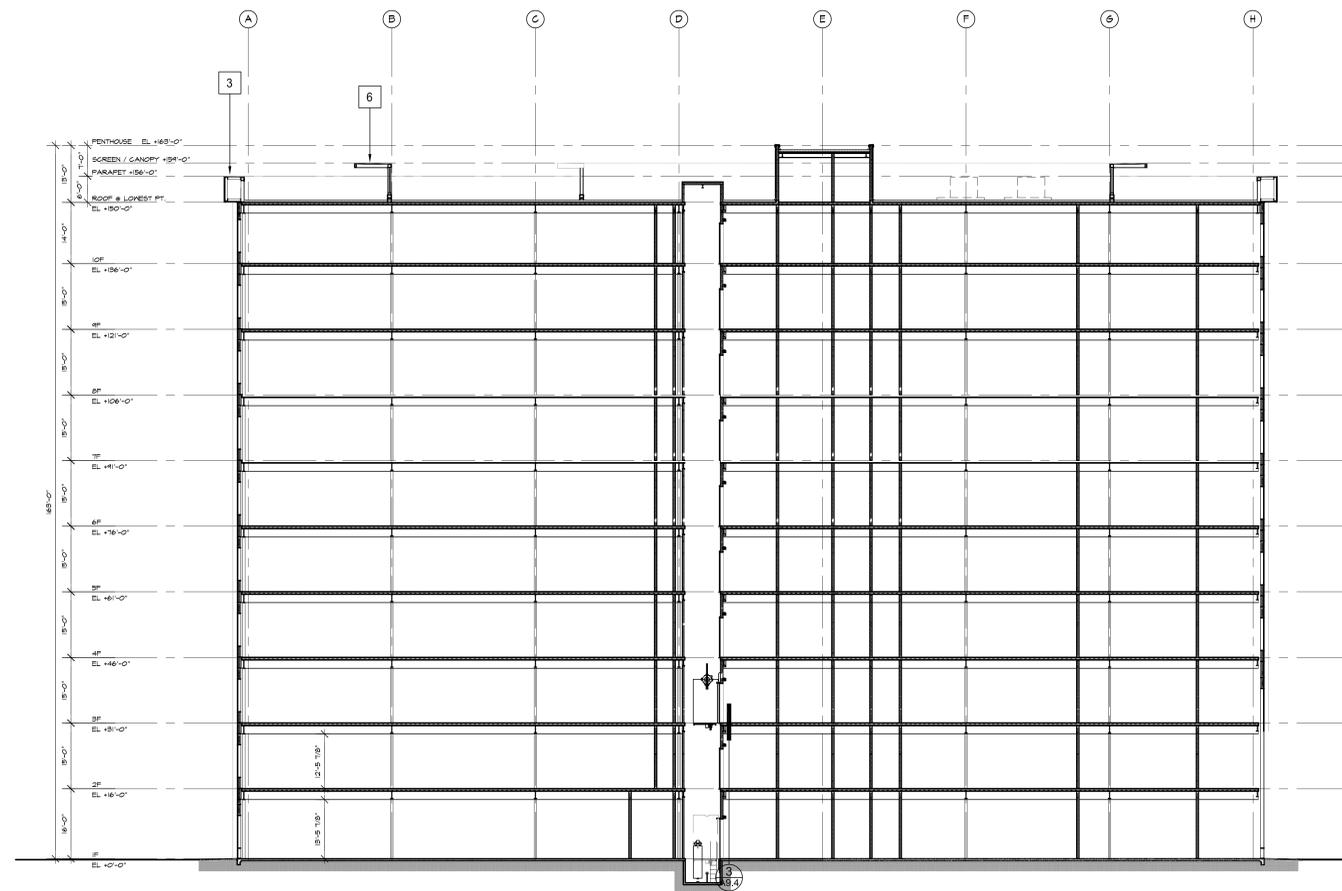
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- TINTED GLAZING
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GENERAL NOTES

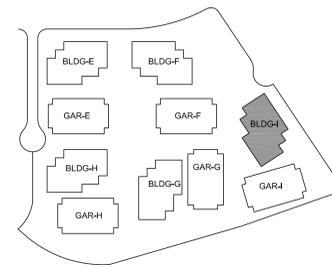
1. NOT ALL NOTES APPLY TO THIS SHEET
2. SEE TITLE 24 ENERGY REPORT FOR GLAZING PERFORMANCE AND WALL / ROOF INSULATION REQUIREMENTS.



2 SECTION B-B
SCALE: 1/16" = 1'-0"



1 SECTION A-A
SCALE: 1/16" = 1'-0"



BROKAW RD OFFICE
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SAN JOSE, CA

PEERY-ARRILLAGA

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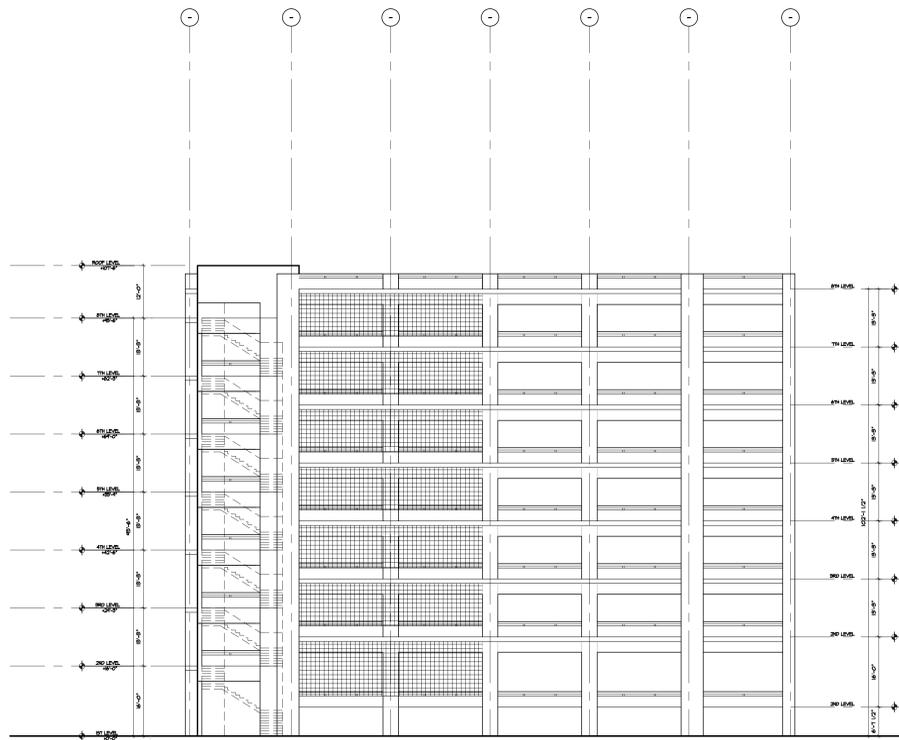
BLDG I SECTIONS

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Date: 03/10/20
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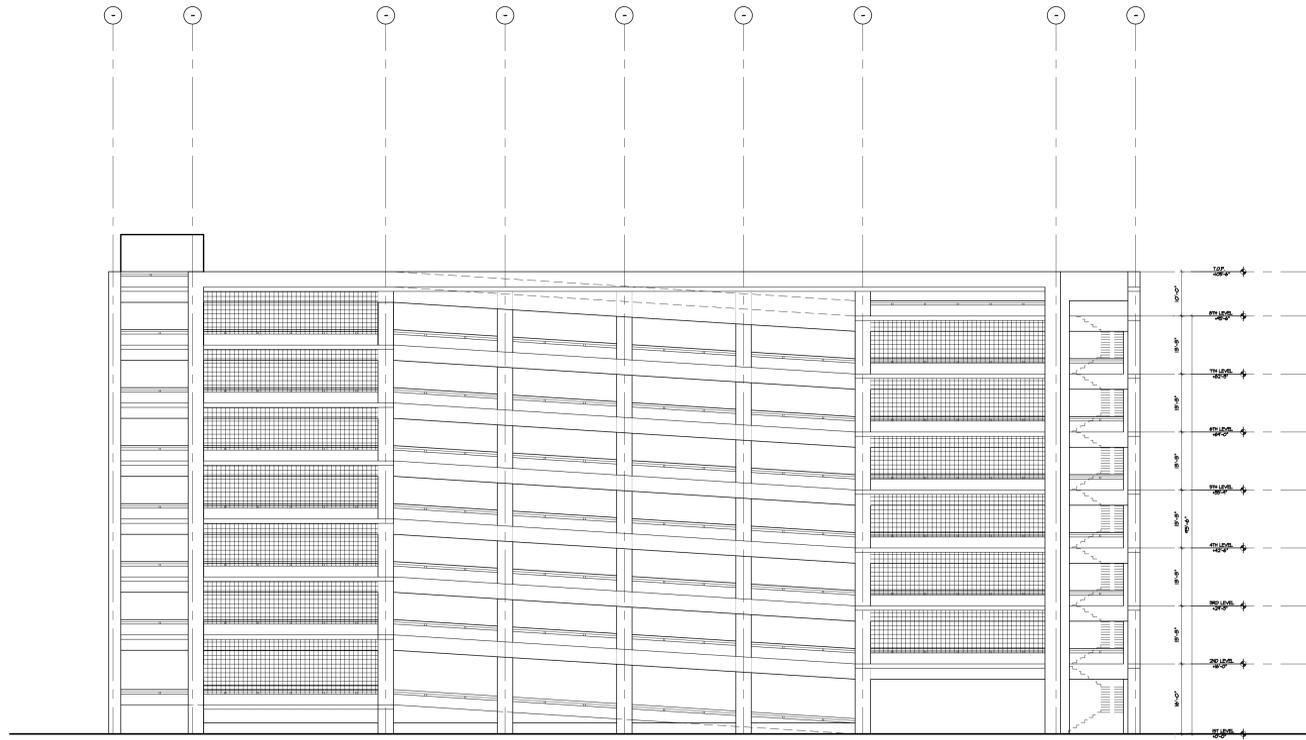
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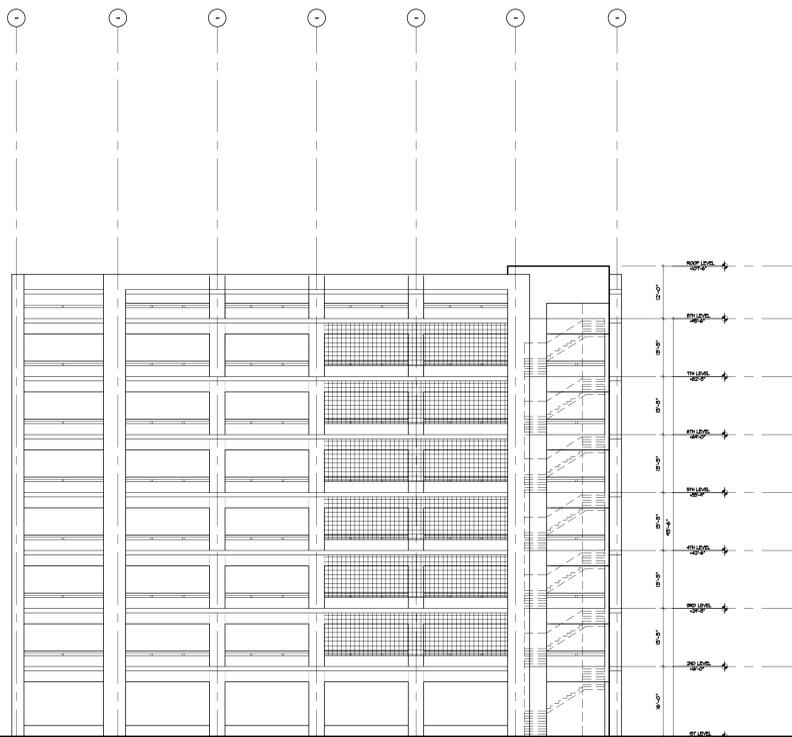
- 1 STOREFRONT GLAZING SYS. TYP.
- 2 METAL PANEL ENCLOSURE TYP.
- 3 PRECAST PANEL TYP.
- 4 METAL PANEL FRAME TYP.
- 5 METAL GUARDRAIL TYP.
- 6 METAL BAND TYP.
- 7 METAL MESHES TYP.



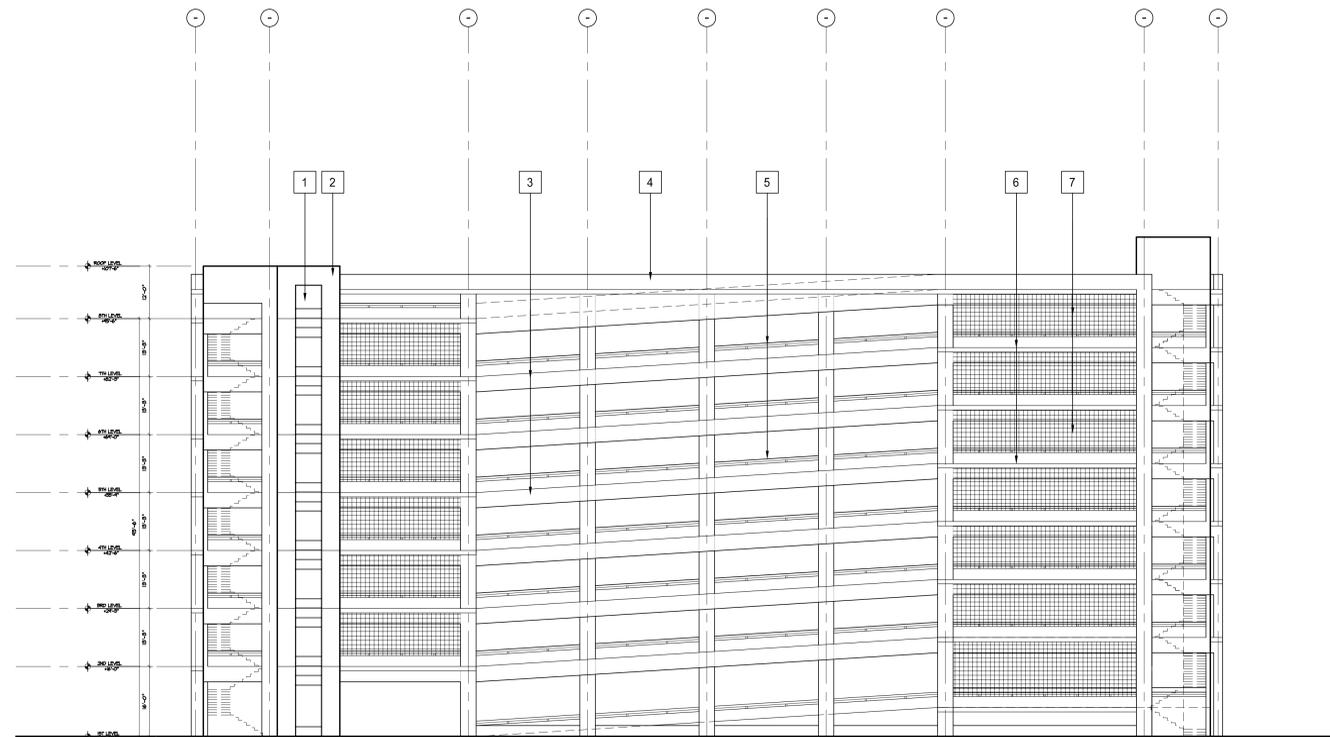
4 SIDE ELEVATION
SCALE: 1/16" = 1'-0"



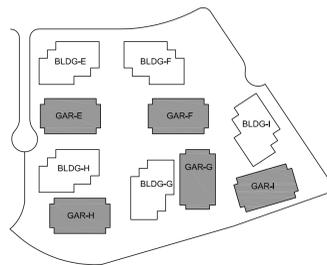
3 REAR ELEVATION
SCALE: 1/16" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/16" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/16" = 1'-0"



BROKAW RD OFFICE
PARCEL 3
SAN JOSE, CA

PEERY-ARRILLAGA

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	03/10/20	PD PERMIT AMMENDMENT

GARAGE E/F/G/H/I
ELEVATIONS

Project Number: 2019A103
Date: 03/10/20
Scale:

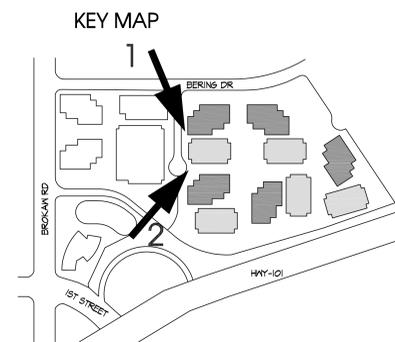
A3-4



PERSPECTIVE 1



PERSPECTIVE 2



BROKAW RD OFFICE
PARCEL 3
SAN JOSE, CA

PEERY-ARRILLAGA

Issues and Revisions			
No.	Date	Issues and Revisions	By
	03/10/20	PD PERMIT AMMENDMENT	

PERSPECTIVES

Project Number: 2019A103
Date: 03/10/20
Scale: -

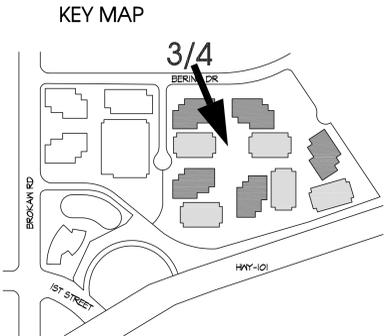
A4-1



PERSPECTIVE 3



PERSPECTIVE 4



BROKAW RD OFFICE
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No.	Date	Issues and Revisions	By
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PERSPECTIVES

Project Number: 2019A103
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Scale: -



5 FT METAL OVERHANG TYPICAL

COLORED WIRE MESH TYP.
(COLOR MATCH OFFICE BLDG)

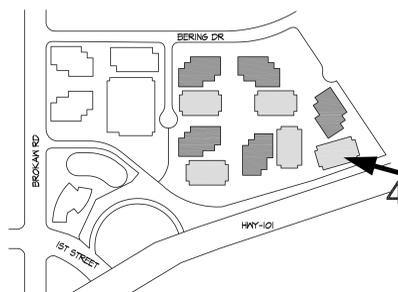
PRECAST PANEL WALL TYP.

CLOSE-UP VIEW



VIEW 4

KEY MAP



BROKAW RD OFFICE
PARCEL 3

SAN JOSE, CA

PEERY-ARRILLAGA

Issues and Revisions			
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	03/10/20	PD PERMIT AMMENDMENT	

PERSPECTIVE
FROM HWY-101 TO GARAGES

Project Number: 2019A103
Date: 03/10/20
Scale: -

A4-4