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BAY WEST DEVELOPMENT

GATEWAY STATION - PLANNED DEVELOPMENT ZONING

PDC17-047

**1410 S BASCOM AVE
SAN JOSE, CA 95128**

**PDZ APPLICATION RESUBMITTAL
APRIL 30, 2018**

PROJECT INFORMATION (CONCEPTUAL)

PROJECT DESCRIPTION

THE SITE IS UNDERGOING PLANNED DEVELOPMENT REZONING FROM COMMERCIAL PEDESTRIAN (CP) TO CP/PD PLANNED DEVELOPMENT ZONING.

RESIDENTIAL USES SHALL CONFORM TO THOSE USES IDENTIFIED IN THE R-M - MULTIFAMILY RESIDENCE ZONING DISTRICT AS SET FORTH IN TITLE 20 OF THE SAN JOSE MUNICIPAL CODE, AND AMENDED.

COMMERCIAL USES SHALL CONFORM TO THOSE USES IDENTIFIED IN THE CP - COMMERCIAL PEDESTRIAN ZONING DISTRICT AS SET FORTH IN TITLE 20 OF THE SAN JOSE MUNICIPAL CODE, AND AMENDED. THE RESIDENTIAL USES OF THIS PROJECT ARE ALLOWED THROUGH THE PROJECT'S CONFORMANCE WITH THE REQUIREMENTS OF THE SAN JOSE "SIGNATURE PROJECT" PROCESS.

THE PROJECT INCLUDES: 220,000 GROSS SQUARE FEET OF COMMERCIAL OFFICE (UP TO 300,000 GSF ALLOWED), 590 UNITS OF TRANSIT-ORIENTED RESIDENTIAL (UP TO 600 UNITS ALLOWED), AND A PUBLICLY-ACCESSIBLE OUTDOOR SPACE THAT CONNECTS SOUTH BASCOM AVE TO THE BASCOM STATION VTA STOP.

PROJECT DATA

PROJECT ADDRESS: 1410 S BASCOM AVE, SAN JOSE, CA 95128

ASSESSOR'S PARCEL NUMBER: 282-26-011 and 282-26-012

EXISTING GENERAL PLAN DESIGNATION: NCC (NEIGHBORHOOD COMMUNITY COMMERCIAL)

CURRENT URBAN VILLAGE PLAN DESIGNATION: URBAN VILLAGE COMMERCIAL

EXISTING ZONING DESIGNATION: CP (COMMERCIAL PEDESTRIAN)

PROPOSED USE: MIXED USE (OFFICE, RETAIL, TRANSIT-ORIENTED RESIDENTIAL)

GROSS SITE AREA (WITHIN PROPERTY LINE): 304,188 SF (6.98 ACRES)

NET SITE AREA: 295,068 SF (6.77 ACRES)
RIGHT OF WAY DEDICATION (10'-0" ALONG BASCOM AVE): 9,120 SF (0.21 ACRES)

PROPOSED FAR:
RESIDENTIAL (GROSS): ±595,000 SF
RESIDENTIAL PARKING (GROSS): ±199,000 SF
ACTIVE USE (GROSS): ±2,500 SF
OFFICE (GROSS): ±220,000 SF
OFFICE PARKING (GROSS): ±182,000 SF
TOTAL (GROSS): 1,198,500 SF / 295,068 SF (NET SITE AREA) = 4.06 FAR

PROPOSED SITE COVERAGE:

BUILDINGS: 186,190 SF (63.1%)
LANDSCAPE: 55,621 SF (18.9%)
CIRCULATION: 53,090 SF (18.0%)

REQUIRED PARKING:

OFFICE: (1/250 SF) = 800 SPACES
RESIDENTIAL: 629 SPACES

PROPOSED PARKING:

OFFICE: (1/333 SF) = 660 SPACES
RESIDENTIAL: (1.19 RESIDENTIAL SPACES / UNIT) = 700 SPACES

PERIMETER SETBACK REQUIREMENTS:

SOUTH BASCOM AVENUE (WEST PROPERTY LINE): 0' MINIMUM, 10' MAXIMUM, LARGER THAN 10'-0" CAN BE CONSIDERED THROUGH PLANNED DEVELOPMENT PERMIT FOR OPEN SPACE, PEDESTRIAN AMENITIES, OR CIRCULATION

PROVIDING: 20'-0" (10'-0" SIDEWALK + 10'-0" FROM PROPERTY LINE = 20'-0")

FROM NORTH PROPERTY LINE: 20'-0" MINIMUM SETBACK

PROVIDING: 36'-0" MINIMUM (5'-0" SIDEWALK + 26'-0" EVA + 4'-0" MIN PLANTING + 1'-0" RETAINING WALL)

FROM SOUTHEAST PROPERTY LINE (NEAR VTA STATION): 0' MINIMUM

PROVIDING: 31'-6" (26'-0" EVA + 2'-6" FENCE + 3'-0" SIDEWALK)

HEIGHT LIMITS:

UP TO 150'-0" (FAR UP TO 8.0 - URBAN COMMERCIAL), PER THE URBAN VILLAGE PLAN

PROVIDING: AT OFFICE: 142'-0" TO TOP OF MECH. SCREENING (AND 116'-11" TO LAST OCCUPIED FLOOR)
AT RESIDENTIAL: 85'-0", 73'-10" TO LAST OCCUPIED FLOOR

OPEN SPACE REQUIREMENTS:

PRIVATE OPEN SPACE: 60 SF MIN PER RESIDENTIAL UNIT
590 UNITS X 60 SF/UNIT = 35,400 SF REQUIRED

PROVIDING: 39,500 SF @ RESIDENTIAL PODIUM
30,500 SF @ PRIVATE PATIOS
TOTAL: 70,000 SF

PUBLIC OPEN SPACE: 100 SF MIN PER RESIDENTIAL UNIT
590 UNITS X 100 SF/UNIT = 59,000 SF REQUIRED

PROVIDING: 59,524 SF @ PLAZA & PEDESTRIAN PATH

RESIDENTIAL UNIT BREAKDOWN:

UNITS:

TOTAL UNITS: 590 UNITS
TOTAL NET DENSITY (DU/AC): 130.82
TOTAL AVERAGE UNIT SIZE (GSF): 750 GSF

UNIT SUMMARY:

STUDIOS: 144 UNITS (24%)
1 BEDROOMS: 343 UNITS (58%)
2 BEDROOMS: 103 UNITS (18%)
TOTAL UNITS: 590 UNITS

PROJECT DIRECTORY

ARCHITECT

WRNS STUDIO
501 SECOND STREET
SUITE 402
SAN FRANCISCO, CA 94107
415-489-2224

TRAFFIC

FEHR & PEERS
100 PRINGLE AVE
SUITE 600
WALNUT CREEK, CA 94596
925-930-7100

PARKING

WATRY DESIGN, INC.
2099 GATEWAY PLACE
SUITE 550
SAN JOSE, CA 95110
408-392-7900

DEVELOPER

BAY WEST DEVELOPMENT
2 HENRY ADAMS STREET
SUITE #450
SAN FRANCISCO CA 94103
415.602.8128

LANDSCAPE

GLS LANDSCAPE/ARCHITECTURE
2677 MISSION ST
SUITE 200
SAN FRANCISCO, CA 94110
415-285-3614

CIVIL

CBG, INC.
2633 CAMINO RAMON
SUITE 350
SAN RAMON, CA 94583
925-866-0322

DRAWING SHEET INDEX

00 GENERAL

G-000	COVER
G-001	DRAWING INDEX, PROJECT DIRECTORY, PROJECT INFO
G-002	EXISTING SITE PHOTOS
G-003	DEVELOPMENT STANDARDS

01 CIVIL

C-100	GENERAL DEVELOPMENT PLAN
C-101	SITE PLAN
C-102	PRELIMINARY GRADING & UTILITY PLAN
C-103	PRELIMINARY STORMWATER MANAGEMENT PLAN
C-104	PRELIMINARY STORMWATER MANAGEMENT PLAN NOTES
C-105	FIRE ACCESS & SERVICE PLAN

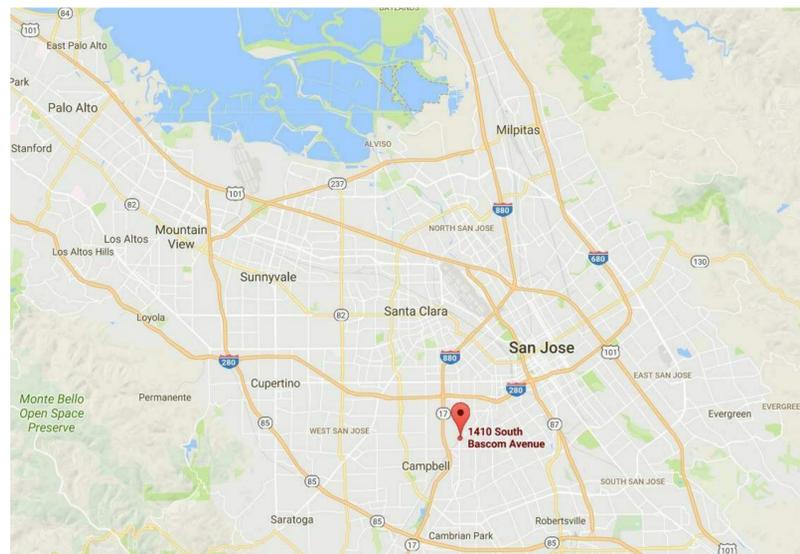
02 ARCHITECTURAL & LANDSCAPE

A-100	PRECEDENT IMAGERY - OFFICE
A-101	PRECEDENT IMAGERY - RESIDENTIAL
A-102	PRECEDENT IMAGERY - LANDSCAPE
A-200	SITE PLAN (ILLUSTRATIVE)
A-201	CIRCULATION PLAN
A-202	PODIUM PLAN (ILLUSTRATIVE)
A-300	CONCEPTUAL SITE SECTIONS
A-301	CONCEPTUAL SITE SECTIONS

ISSUES	DATE
PRE-APPLICATION MEETING	09/29/2017
PLANNED DEVELOPMENT ZONING	10/12/2017
PDZ RESUBMITTAL	04/30/2018

REVISION LIST	DATE
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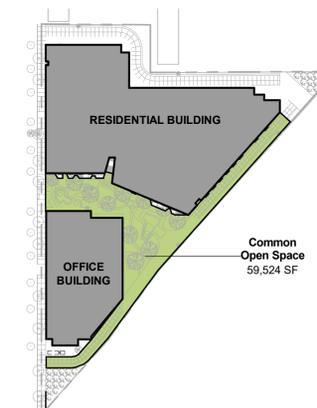
VICINITY MAP



LOCATION MAP



OPEN SPACE DIAGRAM



GATEWAY STATION - PLANNED DEVELOPMENT ZONING

1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN

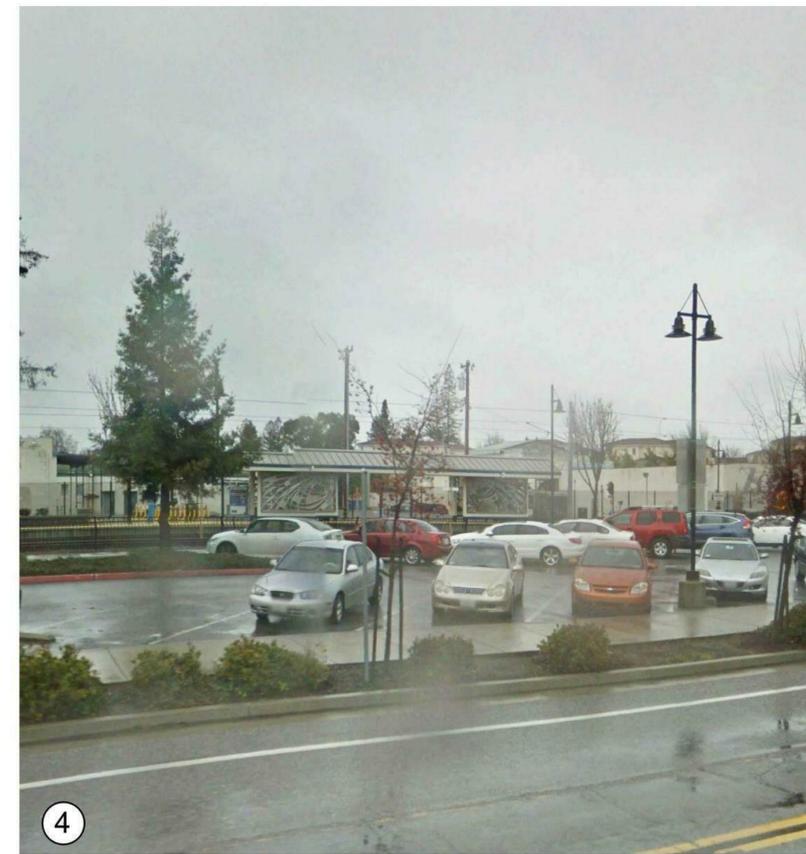
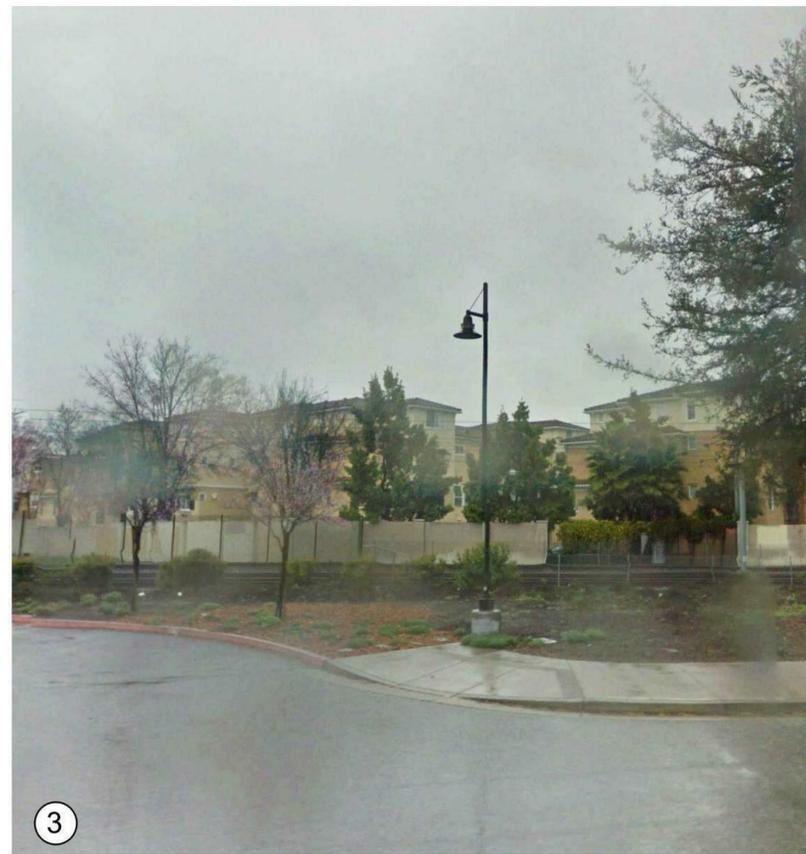
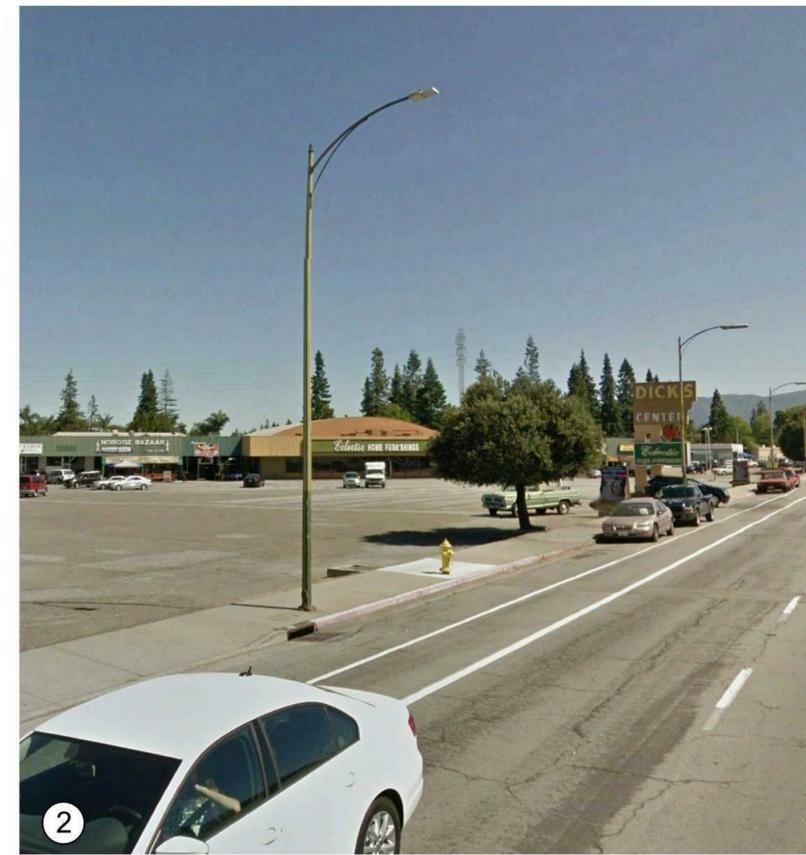
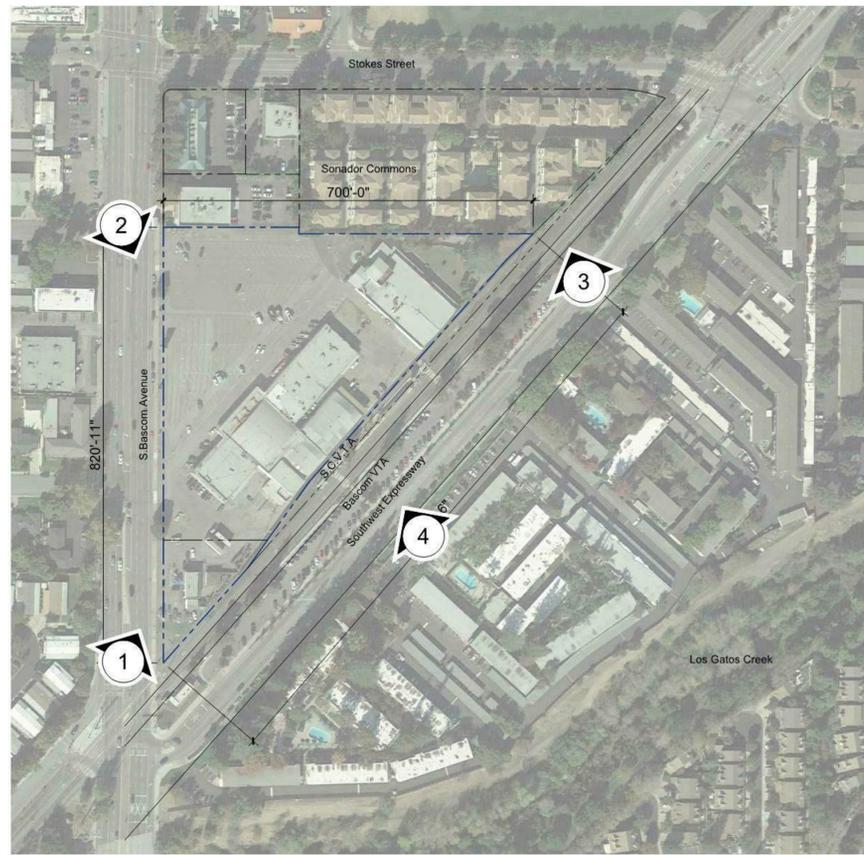
PLANNING NO.: PDC17-047
PROJECT NO.: 17019.00
DATE: APRIL 30, 2018
SCALE: 1" = 200'-0"

SHEET TITLE:

DRAWING INDEX,
PROJECT DIRECTORY,
PROJECT INFO

SHEET NO:

G-001



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ISSUES	DATE
PRE-APPLICATION MEETING	09/29/2017
PLANNED DEVELOPMENT ZONING	10/12/2017
PDZ RESUBMITTAL	04/30/2018

REVISION LIST	DATE
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**GATEWAY STATION
- PLANNED
DEVELOPMENT
ZONING**

1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN

PLANNING NO.: PDC17-047
PROJECT NO.: 17019.00
DATE: APRIL 30, 2018
SCALE:

SHEET TITLE:
EXISTING SITE PHOTOS

SHEET NO:
G-002

5/29/2018 4:52:22 PM



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CITY COUNCIL DRAFT DEVELOPMENT STANDARDS

DEVELOPMENT STANDARDS
FILE NO. PDC17-47
(GATEWAY STATION SIGNATURE PROJECT)

In any cases where the graphic plans and text may differ, this text takes precedence.

ALLOWED USES

- Residential uses shall conform to those uses identified in the R-M - Multifamily Residence Zoning District as set forth in Title 20 of the San José Municipal Code, and amended.
- Commercial uses shall conform to those uses identified in the CP - Commercial Pedestrian Zoning District as set forth in Title 20 of the San José Municipal Code, and amended.
- All permitted, conditional and special uses shall require the approval of a Planned Development Permit or Amendment.

DEVELOPMENT PHASING

PHASE 1

- No certificate of occupancy (temporary or final) shall be issued for any residential units in the project, unless and until building permit(s) has been issued for the commercial building and proposed plaza design, and vertical construction for the commercial building has commenced.
- Once building permit(s) has been issued and vertical construction of the commercial building and adjacent plaza has commenced, a certificate of occupancy may be issued for the residential building.

DEVELOPMENT STANDARDS

DENSITY:

- Minimum Residential Density: 400 units, Maximum Residential: 600 units.
- Minimum Commercial square footage: 200,000 (gross square feet). Maximum Commercial square footage: 300,000 (gross square feet).

MAXIMUM BUILDING HEIGHT:

- 150 feet to the top of the roof.
- Elevator shafts, roof equipment, and other non-habitable building elements may extend 10 feet past the maximum building height to a height of 160 feet.

PERIMETER SETBACKS:

- From Bascom Avenue (west property line): No minimum, 10'-0" maximum. Larger than 10 feet can be considered through a Planned Development Permit for open space, pedestrian amenities, or circulation (i.e., lobbies, cafes, plazas, entries, etc.) From north property line: 20'-0" minimum setback.

- From southeast property line (near VTA station): No minimum setback.

VEHICLE AND BICYCLE PARKING REQUIREMENTS:

- Per the San José Municipal Code, Title 20, as amended.
- Additional residential/guest parking may be shared on the commercial site area of the Planned Development Zoning District.

OPEN SPACE REQUIREMENTS:

- Minimum of 60 square feet of private open space per residential unit. A reduction of up to 50% of the private open space may be granted with a Planned Development Permit.
- Minimum of 100 square feet of common open space per residential unit

ARCHITECTURAL & SITE DESIGN

- Ground Floor Interface** for commercial spaces in which any portion of the building that fronts on South Bascom Avenue:
 - The ground-floor level of commercial/active spaces shall be at the same grade as the adjacent back of sidewalk or walkway, with reasonable variation allowable for gradient requirements and continuity of such floor level.
 - At least 65% transparency shall be provided on commercial spaces.
 - Windows/glazing shall be clear un-tinted glass.
 - Ground floor commercial spaces shall provide a minimum of:
 - Interior depth of 50 feet (inside face of exterior wall to inside face of exterior wall)
 - Minimum plate height of 17 feet.
- Building Massing**
 - The composition of the facades shall include variety by providing recessions and projections.
 - Articulate building corners to create a focal point and/or plaza:
 - Corner elements should include prominent building features, entry plaza spaces or recessed entries.
 - Ensure that commercial/retail space has an activated façade (e.g. storefront windows, street front/sidewalk uses, interesting detailing of facades, attractive signage and lighting) that engages the passerby and activates the public realm.
 - Step building developments back to transition from the commercial frontage along South Bascom Avenue to the lower profile residential homes of the surrounding neighborhoods.
- Building Entrances** for active uses such as lobbies, leasing centers, and commercial spaces:
 - Shall be placed at the ground-floor level; and
 - Shall include appropriate transparency and architectural identity, including awnings or similar features.
 - Recessed or projection features shall be used to indicate the location of primary entries and articulate the façade.
- Building Design**
 - Discourage uninterrupted blank walls or façades. Where such blank walls are necessary, apply landscape screens, display boxes/merchandise displays, light patterns, material variations, or other mitigation measures to enhance visual interest. Articulate façades of parking structures through interactive art, creative displays, vegetative screens, and/or new technology (such as dynamic parking space availability displays).
 - Screen mechanical equipment, loading, and service areas through careful site planning, landscaping, and screen walls.
- Streets and Sidewalks**

- Provide 20-foot minimum sidewalk width along South Bascom Avenue. Where the sidewalk in front of a development project falls short, the project must make up the difference so that the entire 20 feet is publicly-accessible and functions as a sidewalk.
- Design any private street or driveway into the project off a public street, so as to provide the look and feel of a public street, such as park strip, sidewalk, parking etc.
- Ensure that the sidewalk zone is wide enough to accommodate the free flow of pedestrians as well as important streetscape elements (e.g. street trees, lights, benches)
- Plaza**
 - The plaza shall provide a visual connection between the VTA Bascom Light Rail Station and South Bascom Avenue. It shall be a publicly-accessible, visible connection.
- Solar Power**
 - All residential units shall be constructed with solar power or be solar-ready as required by the California Building Code and CalGreen.

OUTDOOR VENDING FACILITIES

- Outdoor Vending Facilities** (mobile food vendors) are allowed on the non-residential use portion of the site.
- Vendors meet the following requirements:
 - Height:** The maximum height of any portion of a vending facility, including any folding or collapsible appendage, shall not exceed ten (10) feet.
 - Width:** The maximum width of a vending facility or cart, including any folding or collapsible appendage, shall not exceed ten (10) feet.
 - Length:** The maximum length of a vending facility or cart, including any folding or collapsible appendage, shall not exceed twenty-four (24) feet.
 - Distance from Intersection:** No vending facility shall be placed on or operate within the boundaries of a hypothetical triangular area described by the point of intersection of the curb-line extensions of perpendicular or nearly perpendicular streets, and a line joining two points thirty (30) feet from that point of intersection, measured along those curb-lines.
 - Distance from Driveways:** Vending facilities shall be setback (20) feet from a driveway curb cut.
 - Paved Locations:** No vending facility shall be placed or operate on a parcel or lot unless the surface is paved with asphalt, macadam or concrete.
 - Mobility of Operations:** No vending facility shall be placed within or operate from a structure or stand which is attached to or bears directly upon or is supported by the surface of the site. Vending facilities shall operate exclusively from vehicles or carts or other conveyances which are fully mobile and have operational wheels in place at all times. Vending facilities shall not connect to temporary or permanent on-site water, gas, electricity, telephone or cable sources.
 - Sanitary Facilities:** Persons operating vending facilities shall have unrestrained right of access to toilet and handwashing facilities located on site within reasonable distance of the vending facility's approved location.

CITY COUNCIL ADDED REQUIREMENTS

- TBD

ENVIRONMENTAL MITIGATION

- The project shall conform to the Mitigation Monitoring and Reporting Program approved by the City Council for this project.

ISSUES	DATE
PRE-APPLICATION MEETING	09/29/2017
PLANNED DEVELOPMENT ZONING	10/12/2017
PDZ RESUBMITTAL	04/30/2018

REVISION LIST	DATE
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**GATEWAY STATION
- PLANNED
DEVELOPMENT
ZONING**

1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN

PLANNING NO.: PDC17-047
PROJECT NO.: 17019.00
DATE: APRIL 30, 2018
SCALE:

SHEET TITLE:

**DEVELOPMENT
STANDARDS**

SHEET NO:

G-003



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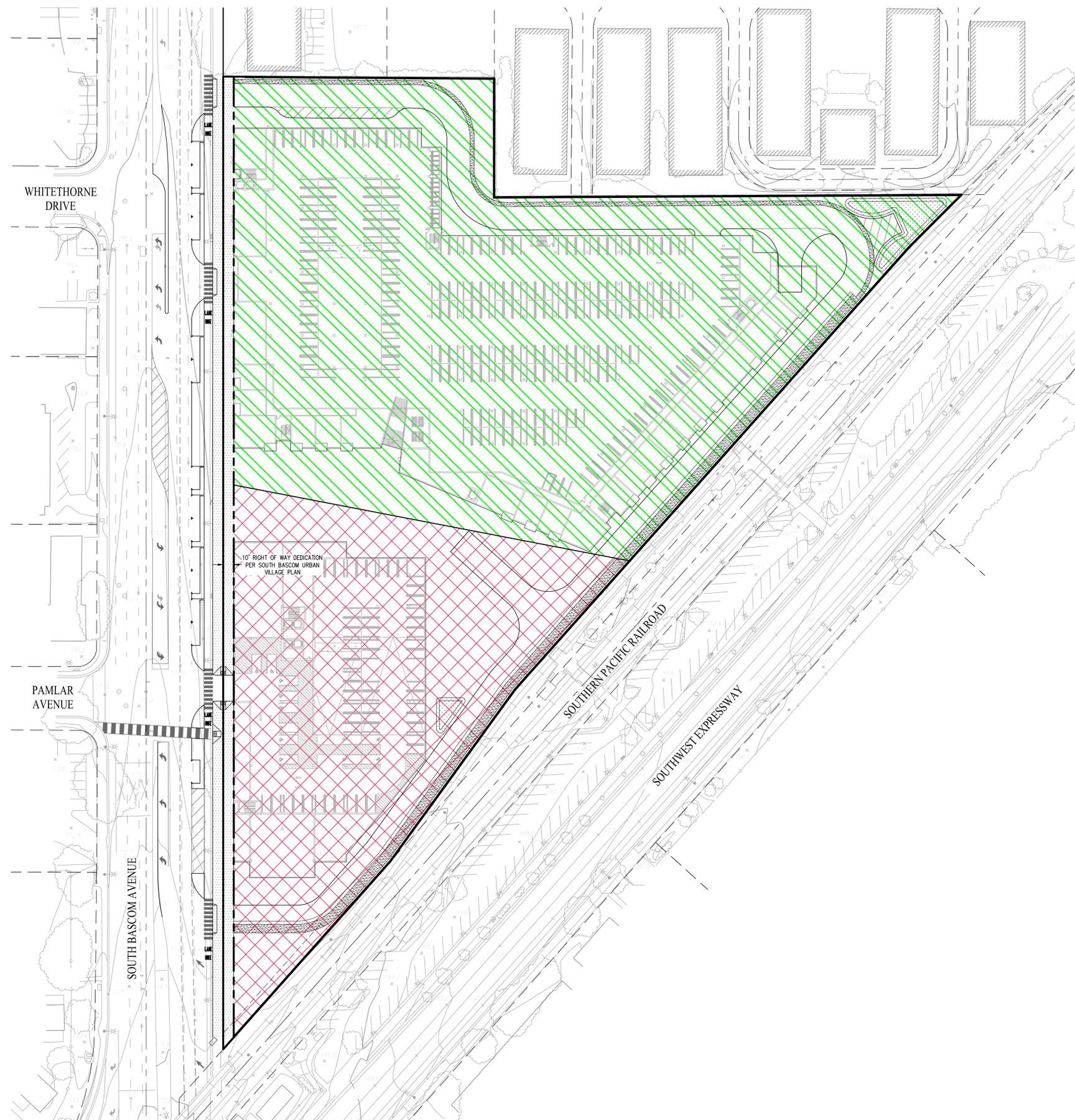
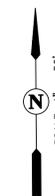
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LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED SIDEWALK
- BIORETENTION AREA

LAND USE SUMMARY

LAND USE	AREA (AC)	PERCENTAGE
R-M MULTIFAMILY RESIDENCE ZONING DISTRICT	4.51±	66.6%
CP - COMMERCIAL PEDESTRIAN ZONING DISTRICT	2.26±	33.4%
TOTAL AREA	6.77±	100%



10' RIGHT OF WAY DEDICATION PER SOUTH BASCOM URBAN VILLAGE PLAN

ISSUES	DATE
PRE-APPLICATION MEETING	09/29/2017
PLANNED DEVELOPMENT ZONING	10/12/2017
PDZ RESUBMITTAL	04/30/2018

#	REVISION LIST	DATE
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GATEWAY STATION - PLANNED DEVELOPMENT ZONING

1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN

PROJECT NO.: 2785-000
DATE: APRIL 30, 2018
SCALE: 1" = 50'

SHEET TITLE:

GENERAL DEVELOPMENT PLAN

SHEET NO:

C-100



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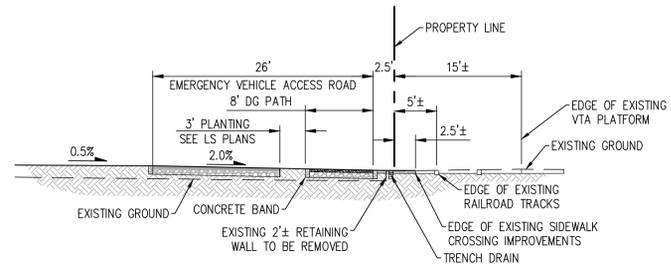
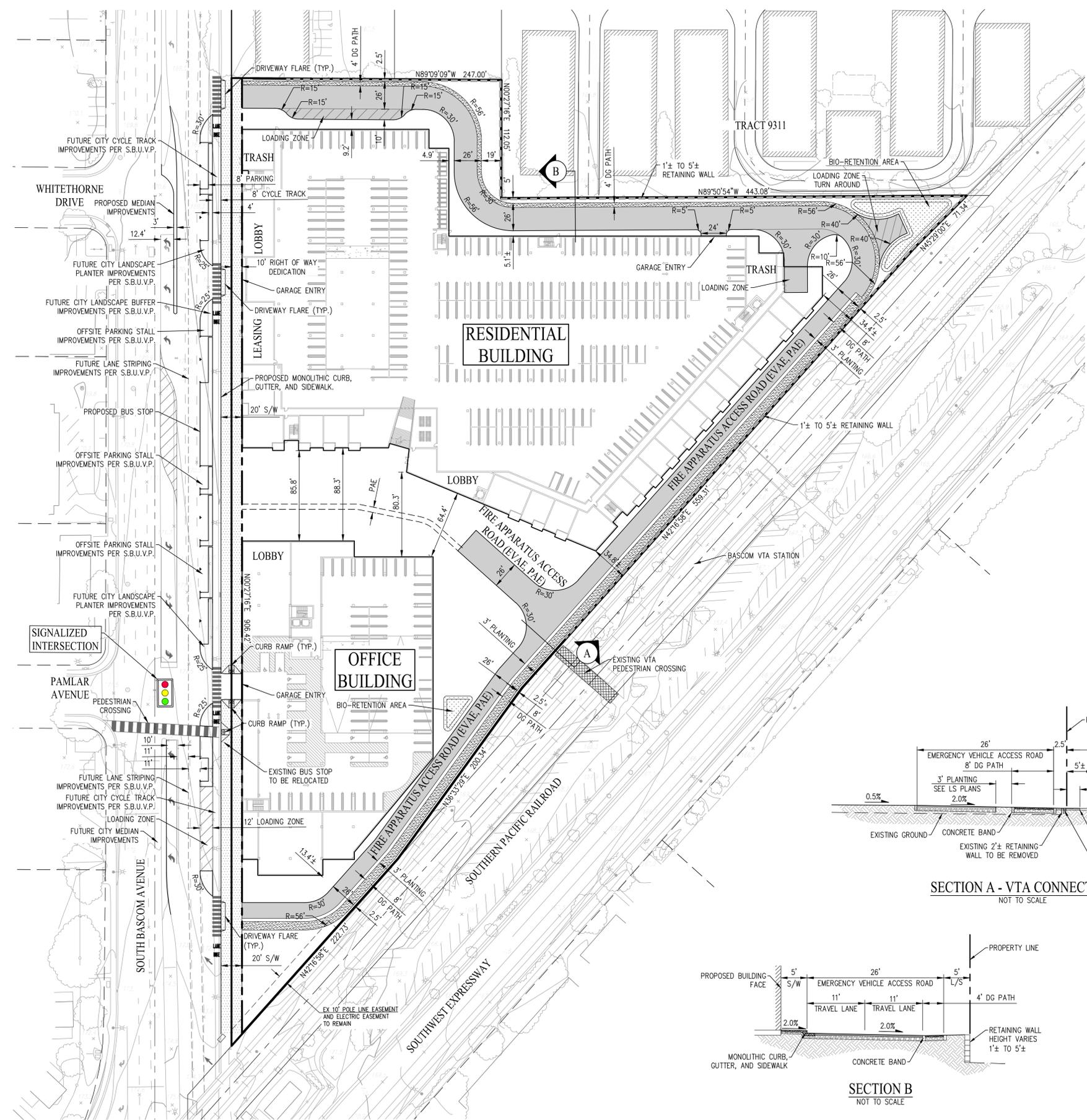
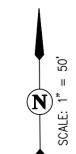
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LEGEND

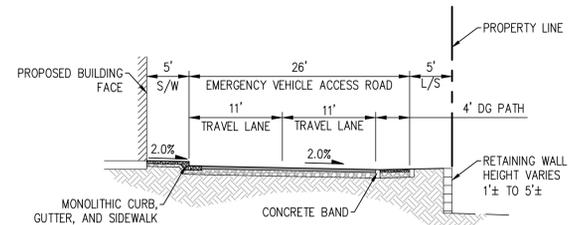
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED SIDEWALK
	BIORETENTION AREA
DG	DECOMPOSED GRANITE
EX	EXISTING
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
L/S	LANDSCAPE
PAE	PUBLIC ACCESS EASEMENT
PL	PROPERTY LINE
PR	PROPOSED
R	RADIUS
S.B.U.V.P.	SOUTH BASCOM URBAN VILLAGE PLAN
S/W	SIDEWALK
TYP.	TYPICAL

GENERAL NOTES:

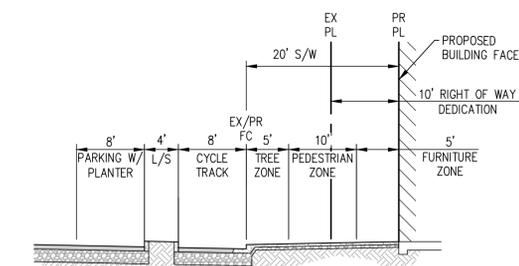
- ASSESSOR'S PARCEL NO: 282-26-011, 282-26-012, 282-26-007
- EXISTING USE: COMMERCIAL
- PROPOSED USE: CP(PD) PLANNED DEVELOPMENT
- GENERAL PLAN: URBAN VILLAGE COMMERCIAL
- GROSS SITE AREA: 6.98± AC, NET SITE AREA: 6.77± AC
- EXISTING BUILDINGS FOOTPRINT AREA: 77,800± SF
- PROPOSED BUILDING FOOTPRINT AREA: RESIDENTIAL: 135,298± SF, OFFICE: 80,892± SF, TOTAL: 186,190± SF
- PROPOSED BUILDING COVERAGE: 186,190± SF, 63.1%; PROPOSED LANDSCAPE COVERAGE: 55,621± SF, 18.9%; PROPOSED DRIVE AISLE COVERAGE: 53,090± SF, 18.0%
- OFF-SITE PARKING STALLS: 11 STALLS; ON-SITE RESIDENTIAL PARKING STALLS: 700 STALLS; ON-SITE COMMERCIAL PARKING STALLS: 660 STALLS
- DWELLING UNITS (DU): 590, MAX ALLOWED: 800
- RESIDENTIAL DENSITY: 130.82 DU/AC (NET AREA: R-M MULTIFAMILY RESIDENCE ZONING DISTRICT)
- COMMERCIAL GROSS FLOOR AREA: 220,000 SF, MAXIMUM ALLOWED: 300,000 SF
- GRADING SHOWN IS PRELIMINARY AND SUBJECT TO CHANGES DURING FINAL DESIGN.
- ALL PROPOSED UTILITIES SHOWN ARE PRELIMINARY AND MAY CHANGE DURING FINAL DESIGN.
- ADJACENT PROPERTIES INCLUDE A COMMERCIAL BUILDING, RESIDENTIAL DEVELOPMENT, VTA RAILROAD STATION.
- ALL DIMENSIONS DEPICTED HEREON ARE APPROXIMATE AND ARE SUBJECT TO REVISION AT THE PARCEL MAP STAGE.



SECTION A - VTA CONNECTION
NOT TO SCALE



SECTION B
NOT TO SCALE



SOUTH BASCOM AVENUE - FRONTAGE SECTION
NOT TO SCALE

ISSUES	DATE
PRE-APPLICATION MEETING	09/29/2017
PLANNED DEVELOPMENT ZONING	10/12/2017
PDZ RESUBMITTAL	04/30/2018

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GATEWAY STATION - PLANNED DEVELOPMENT ZONING

1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN

PROJECT NO.: 2785-000
DATE: APRIL 30, 2018
SCALE: 1" = 50'

SHEET TITLE:

SITE PLAN

SHEET NO.:

C-101

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If this drawing is not 24"x36" then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch.



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DEVELOPMENT

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2677 Mission Street, No. 200
San Francisco, CA 94110-3105
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EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	---	WATER MAIN
---	---	SANITARY SEWER
---	---	STORM DRAIN
---	---	STORM DRAIN FORCE MAIN (TREATMENT FLOW ONLY)
---	---	RETAINING WALL
---	---	STORM DRAIN CATCH BASIN
---	---	STORM DRAIN FIELD INLET
---	---	MANHOLE
---	---	MEDIA FILTER VAULT
---	---	SANITARY SEWER CLEANOUT
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	POST INDICATOR VALVE
---	---	WATER METER
---	---	DOUBLE CHECK DETECTOR ASSEMBLY
---	---	STREET LIGHT
---	---	UTILITY BOX/VAULT
---	---	BIO-RETENTION AREA
---	---	CURB CUT/SLOT DRAIN
---	---	STORM DRAIN PUMP (TREATMENT FLOW ONLY)
---	---	BACK OF WALK
---	---	DOUBLE CHECK DETECTOR ASSEMBLY
---	---	EXISTING GROUND
---	---	EXISTING
---	---	FIRE DEPARTMENT CONNECTION
---	---	LANDSCAPE
---	---	PRESSURE INDICATOR VALVE
---	---	PROPERTY LINE
---	---	PROPOSED
---	---	PAVEMENT
---	---	RADIUS
---	---	SANITARY SEWER
---	---	SIDEWALK
---	---	TYP.

SCALE: 1" = 50'

UTILITY NOTES:

- UTILITY LAYOUT AS SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN. EXISTING UTILITY LOCATIONS ARE APPROXIMATE BASED ON RECORD INFORMATION AND FIELD SURVEY DATA. UTILITY POINT OF CONNECTIONS SHALL BE VERIFIED WITH USA MARKINGS AND POTHOLE INFORMATION.
- ALL BUILDING STORM DRAIN, WATER, AND SEWER POINT OF CONNECTIONS ARE SUBJECT TO FINAL BUILDING PLUMBING DESIGN.
- BUILDING FINISHED FLOOR ELEVATIONS ARE APPROXIMATE AND SUBJECT TO FINAL DESIGN.
- ALL EXISTING UTILITY BOXES AND VAULTS ALONG THE PROJECT FRONTAGE WILL BE ADJUSTED TO GRADE.

ISSUES	DATE
PRE-APPLICATION MEETING	09/29/2017
PLANNED DEVELOPMENT ZONING	10/12/2017
PDZ RESUBMITTAL	04/30/2018

#	REVISION LIST	DATE
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GATEWAY STATION - PLANNED DEVELOPMENT ZONING

1410 S BASCOM AVE
SAN JOSE, CA 95128

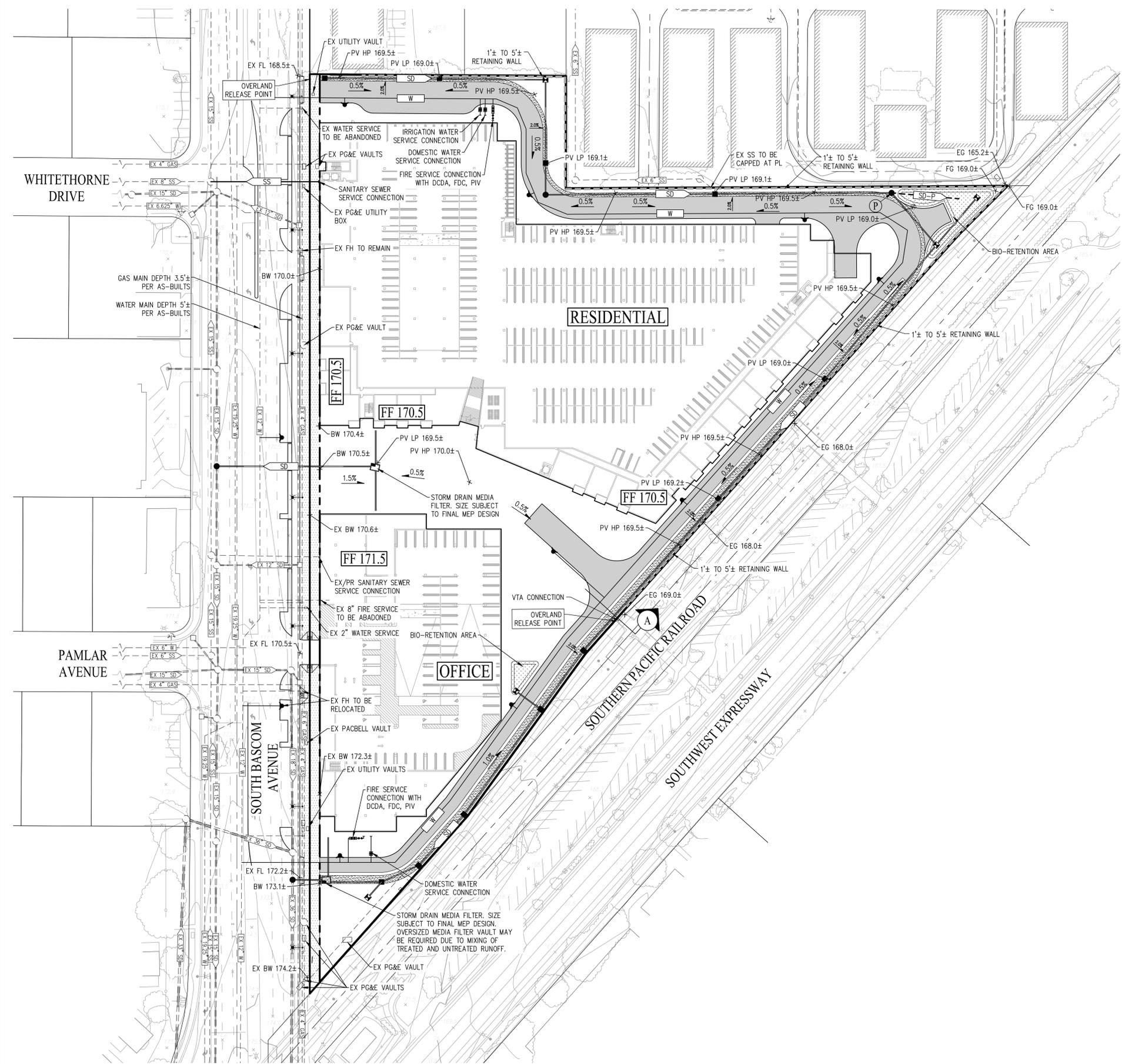
KEYPLAN

PROJECT NO.: 2785-000
DATE: APRIL 30, 2018
SCALE: 1" = 50'

PRELIMINARY GRADING & UTILITY PLAN

SHEET NO:

C-102





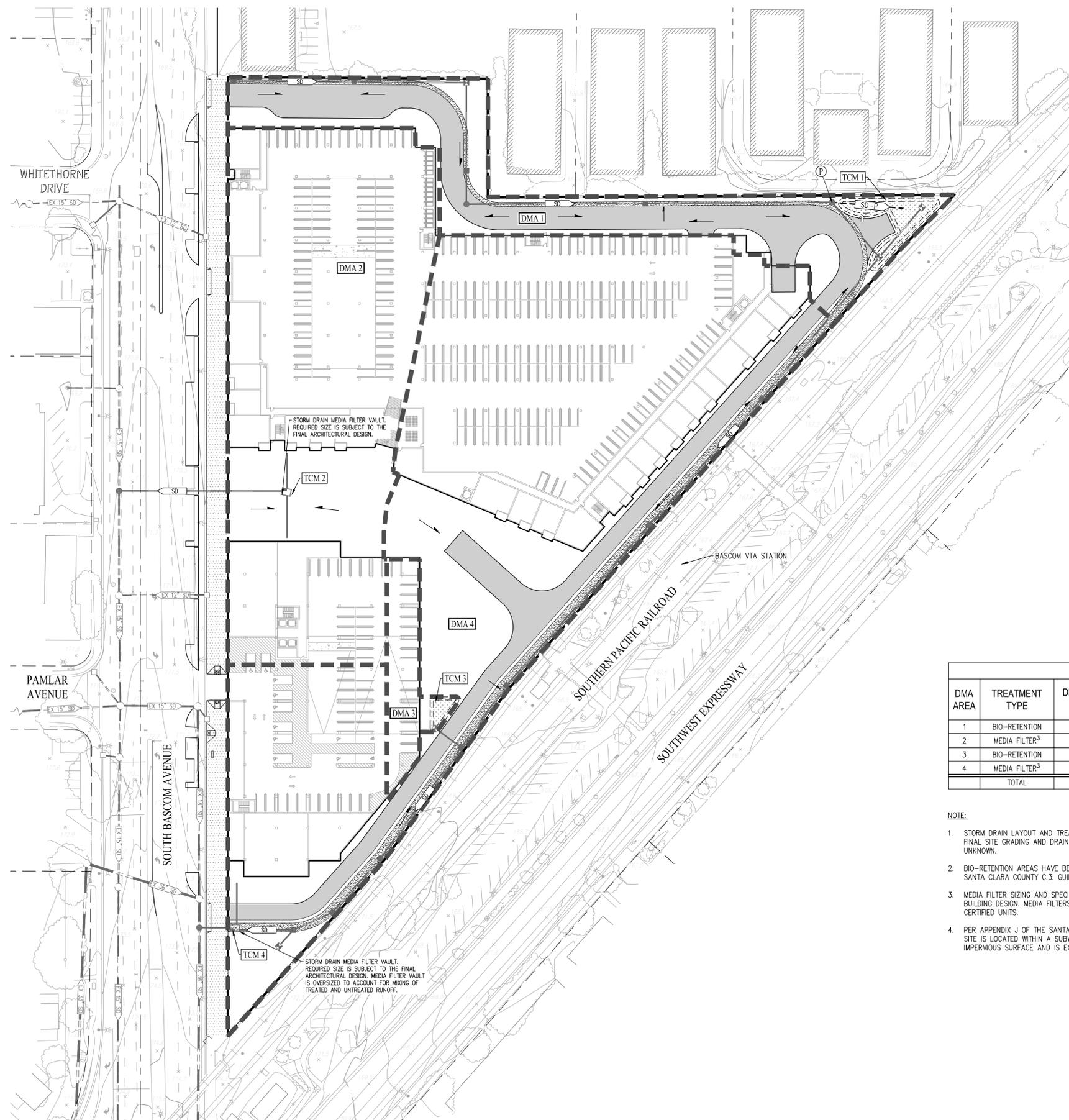
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LEGEND

EXISTING	PROPOSED	
— EX SD —	— 12" SD —	DRAINAGE AREA BOUNDARY
○	●	STORM DRAIN
□	■	STORM DRAIN FORCE MAIN
⊗	⊗	MANHOLE
	⊗	CURB INLET
	⊗	FIELD INLET
	⊗	MEDIA FILTER VAULT
	⊗	DRAINAGE MANAGEMENT AREA LABEL
	⊗	BIO-RETENTION AREA
	→	CURB OUT/SLOT DRAIN
	(P)	STORM DRAIN PUMP (TREATMENT FLOW ONLY)
	BR	BIO-RETENTION AREA DESIGNATION
	DMA	DRAINAGE MANAGEMENT AREA
	MF	MEDIA FILTER
	TCM	TREATMENT CONTROL MEASURE

SCALE: 1" = 50'

TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA AREA	TREATMENT TYPE	DMA AREA (SF)	IMPERVIOUS AREA	PERVIOUS AREA	EFFECTIVE IMPRVIOUS AREA	SIZING METHOD	REQUIRED BIO-RETENTION AREA (SF)	PROVIDED BIO-RETENTION AREA (SF)
1	BIO-RETENTION	39,150	30,980	8,170	31,797	4%	1,272	1,275
2	MEDIA FILTER ³	87,300	82,000	5,300	82,530	FLOW	N/A	N/A
3	BIO-RETENTION	7,380	6,450	930	6,543	4%	262	270
4	MEDIA FILTER ³	161,237	147,150	14,087	148,559	FLOW	N/A	N/A
TOTAL		295,067	266,580	28,487	269,429	-	1,534	1,545

- NOTE:
- STORM DRAIN LAYOUT AND TREATMENT AREAS ARE SUBJECT TO CHANGE WITH FINAL SITE GRADING AND DRAINAGE PLAN. EXACT DOWNSPOUT LOCATIONS ARE UNKNOWN.
 - BIO-RETENTION AREAS HAVE BEEN SIZED USING THE 4% SIZING METHOD PER THE SANTA CLARA COUNTY C.3. GUIDANCE MANUAL.
 - MEDIA FILTER SIZING AND SPECIFICATIONS IS SUBJECT TO FINAL ARCHITECTURAL BUILDING DESIGN. MEDIA FILTERS WILL BE WASHINGTON G.U.L.D. AND T.A.P.E. CERTIFIED UNITS.
 - PER APPENDIX J OF THE SANTA CLARA COUNTY C.3 STORMWATER HANDBOOK THE SITE IS LOCATED WITHIN A SUBWATERSHED OR CHATCHMENT WITH 65% OR MORE IMPERVIOUS SURFACE AND IS EXEMPT FROM THE HYDROMODIFICATION REQUIREMENT.

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PDZ RESUBMITTAL	04/30/2018

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GATEWAY STATION - PLANNED DEVELOPMENT ZONING
1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN

PROJECT NO.: 2785-000
DATE: APRIL 30, 2018
SCALE: 1" = 50'
SHEET TITLE:
PRELIMINARY STORMWATER MANAGEMENT PLAN
SHEET NO.: **C-103**



SITE DESIGN MEASURES:

1. CLUSTER STRUCTURES/PAVEMENT.
2. PLANT TREES ADJACENT TO AND IN PARKING AREAS AND ADJACENT TO OTHER IMPERVIOUS AREAS.
3. PARKING:
 - a. ON TOP OF OR UNDER BUILDINGS.
4. INSTALL A GREEN ROOF ON ALL OR A PORTION OF THE ROOF.

SOURCE CONTROL MEASURES:

1. USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
2. STORM DRAIN LABELING.

POTENTIAL POLLUTANTS AND POLLUTANTS SOURCE AREAS:

1. POLLUTANT SOURCE AREA: LOADING DOCS.
2. SITE POLLUTANTS OF CONCERN: GREASE, OIL, SEDIMENTS, PESTICIDES, AND TRASH.

OPERATION AND MAINTENANCE INFORMATION:

I. PROPERTY INFORMATION:

I.A. PROPERTY ADDRESS:

I.B. PROPERTY OWNER:

II. RESPONSIBLE PARTY FOR MAINTENANCE:

II.A. CONTACT:

TO BE DETERMINED

II.B. PHONE NUMBER OF CONTACT:

II.C. EMAIL:

II.D. ADDRESS:

SPECIAL PROJECT NON-LID TREATMENT REDUCTION CREDITS

CATEGORY C: TRANSIT ORIENTED DEVELOPMENT (TOD)

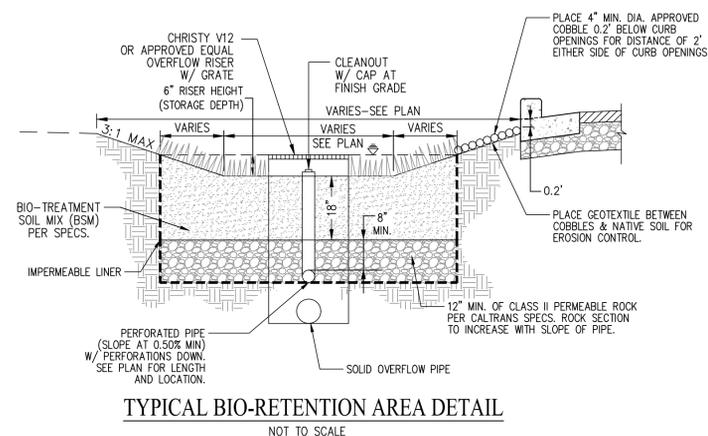
LOCATION CREDIT:

1. WITHIN 1/4 MILE OF TRANSIT HUB 50%
2. DENSITY/FAR CREDIT: ≥ 60 DU/AC 20%
3. MINIMIZED PARKING CREDIT: NO AT-GRADE SURFACE PARKING 20%

TOTAL MAX. NON-LID CREDIT: 90%

NOTES:

TOTAL SITE EFFECTIVE IMPERVIOUS AREA: 269,429 SF
 MIN. 10% BY LID TREATMENT: 26,943 SF
 PROVIDED EFFECTIVE LID TREATMENT AREAS: 38,340 SF (14.2%)



NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT FOR STANDING WATER, SEDIMENT, TRASH AND DEBRIS.	MONTHLY DURING RAINY SEASON
2	REMOVE ACCUMULATED TRASH AND DEBRIS IN THE UNIT DURING ROUTINE INSPECTIONS.	MONTHLY DURING RAINY SEASON, OR AS NEEDED AFTER STORM EVENTS
3	INSPECT TO ENSURE THAT THE FACILITY IS DRAINING COMPLETELY WITHIN FIVE DAYS AND PER MANUFACTURER'S SPECIFICATIONS.	ONCE DURING THE WET SEASON AFTER MAJOR STORM EVENT.
4	REPLACE THE MEDIA PER MANUFACTURER'S INSTRUCTIONS OR AS INDICATED BY THE CONDITION OF THE UNIT.	PER MANUFACTURER'S SPECIFICATIONS.
5	INSPECT MEDIA FILTERS USING THE ATTACHED INSPECTION CHECKLIST.	QUARTERLY OR AS NEEDED

COMPARISON OF IMPERVIOUS AND PERVIOUS SURFACES AT PROJECT SITE	EXISTING SURFACE (SF)	PROPOSED SURFACE		
		TO BE REPLACED (SF)	NEW (SF)	
IMPERVIOUS SURFACE				
ROOF AREA	77,800	184,567		
PARKING	206,758			
SIDEWALKS		26,821		
PUBLIC STREETS		0		
PRIVATE STREETS		55,192		
IMPERVIOUS SURFACE TOTAL	284,558	266,580	0	266,580
PERVIOUS SURFACE				
LANDSCAPE AREA	19,630	19,630	8,857	
PERVIOUS PAVING				
GREEN ROOF AND OTHER PERVIOUS SURFACE				
PERVIOUS SURFACE TOTAL	19,630	19,630	8,857	28,487

ISSUES DATE

PRE-APPLICATION MEETING	09/29/2017
PLANNED DEVELOPMENT ZONING	10/12/2017
PDZ RESUBMITTAL	04/30/2018

REVISION LIST DATE

GATEWAY STATION - PLANNED DEVELOPMENT ZONING

1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN

PROJECT NO.: 2785-000

DATE: APRIL 30, 2018

SCALE: 1" = 50'

SHEET TITLE:

PRELIMINARY STORMWATER MANAGEMENT PLAN NOTES

SHEET NO:



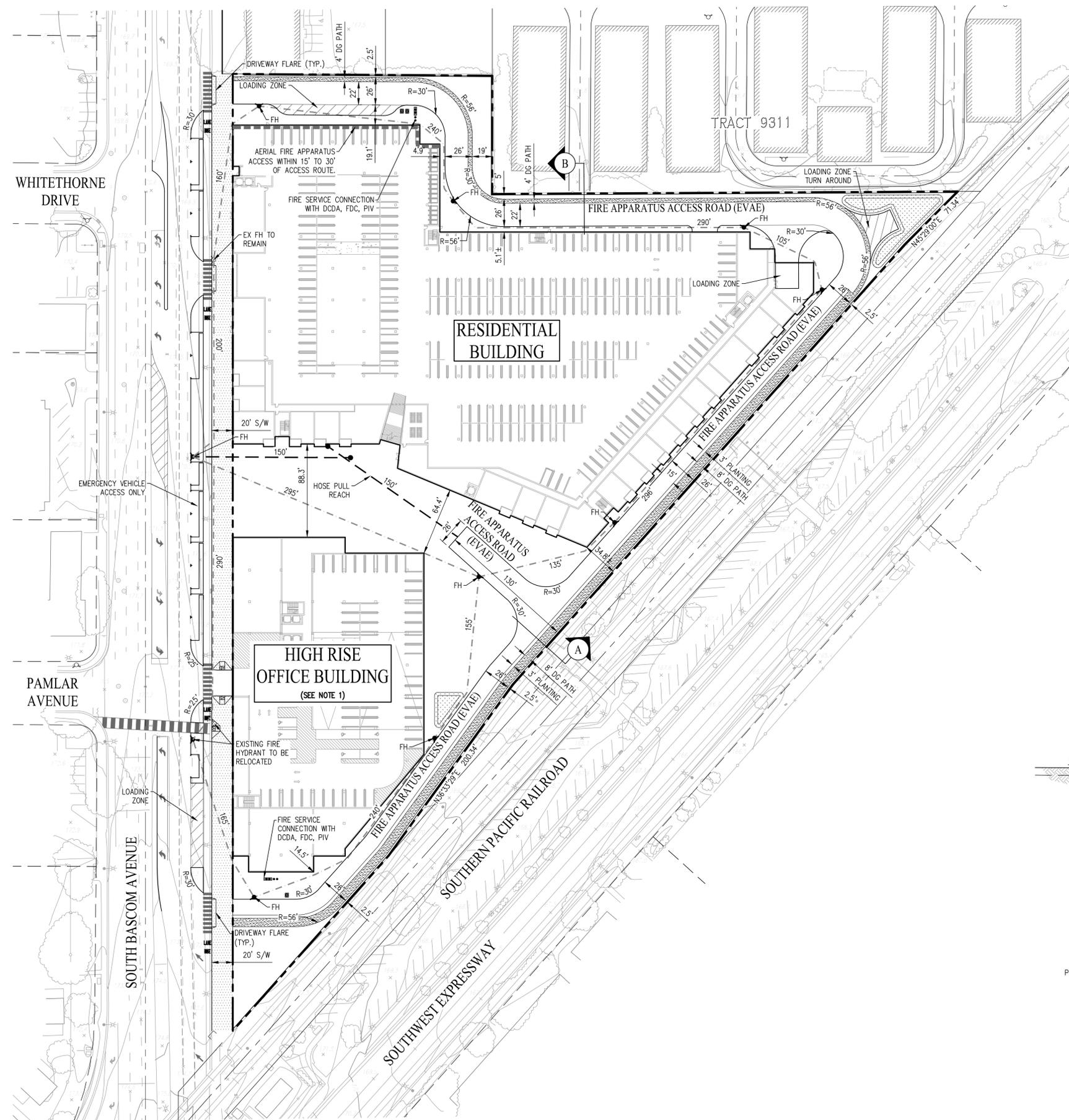
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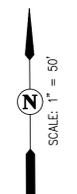
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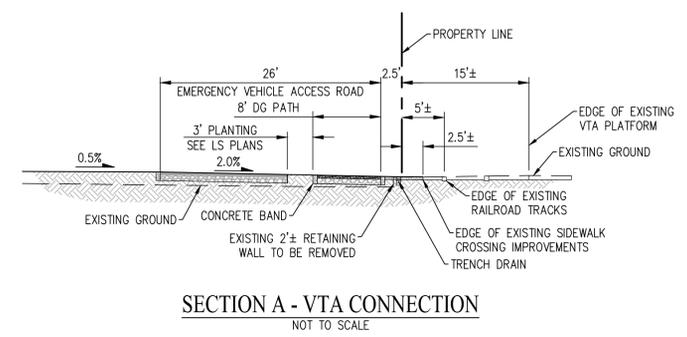
LEGEND:

- PROPOSED PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ⊕ EXISTING FIRE HYDRANT
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ FIRE DEPARTMENT CONNECTION (FDC)
- ⊕ POST INDICATOR VALVE (PIV)
- ⊕ DOUBLE CHECK DETECTOR ASSEMBLY (DCDA)
- FIRE DEPARTMENT HOSE REACH (150')
- AERIAL FIRE APPARATUS ACCESS (MINIMUM ONE PARALLEL SIDE WITHIN 15' TO 30')
- FIRE HYDRANT SPACING
- PARALLEL PARKING STALL
- BACK FLOW PREVENTER
- EXISTING
- EVAE EMERGENCY VEHICLE ACCESS EASMENT
- FDC FIRE DEPARTMENT CONNECTION
- PIV PRESSURE INDICATOR VALVE

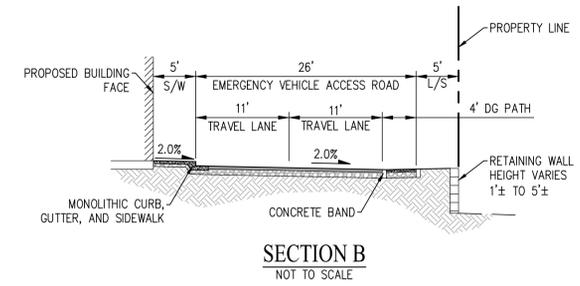


NOTE:

- PER SECTION D105.1 OF THE CALIFORNIA FIRE CODE APPENDIX D AS ADOPTED BY THE CITY OF SAN JOSE FIRE DEPARTMENT "HIGH RISE STRUCTURES SHALL NOT REQUIRE AERIAL FIRE APPARATUS ACCESS ROADS." THE PROPOSED OFFICE BUILDING WILL BE A HIGH RISE STRUCTURE AND THUS IS NOT REQUIRED TO HAVE AN AERIAL FIRE APPARATUS ACCESS ROAD.



SECTION A - VTA CONNECTION
NOT TO SCALE



SECTION B
NOT TO SCALE

ISSUES	DATE
PRE-APPLICATION MEETING	09/29/2017
PLANNED DEVELOPMENT ZONING	10/12/2017
PDZ RESUBMITTAL	04/30/2018

#	REVISION LIST	DATE
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GATEWAY STATION - PLANNED DEVELOPMENT ZONING

1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN

PROJECT NO.: 2785-000
DATE: APRIL 30, 2018
SCALE: 1" = 50'

SHEET TITLE:
FIRE ACCESS AND SERVICE PLAN

SHEET NO.: **C-105**



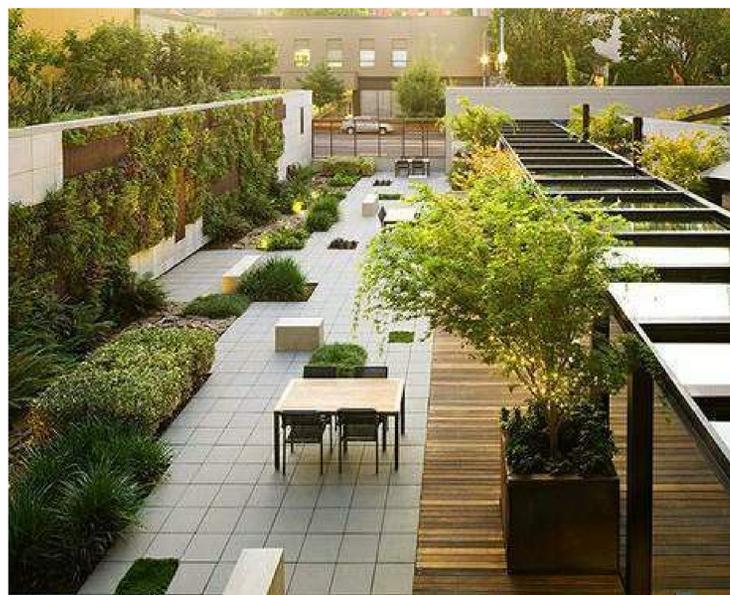
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**GATEWAY STATION
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ZONING**

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KEYPLAN

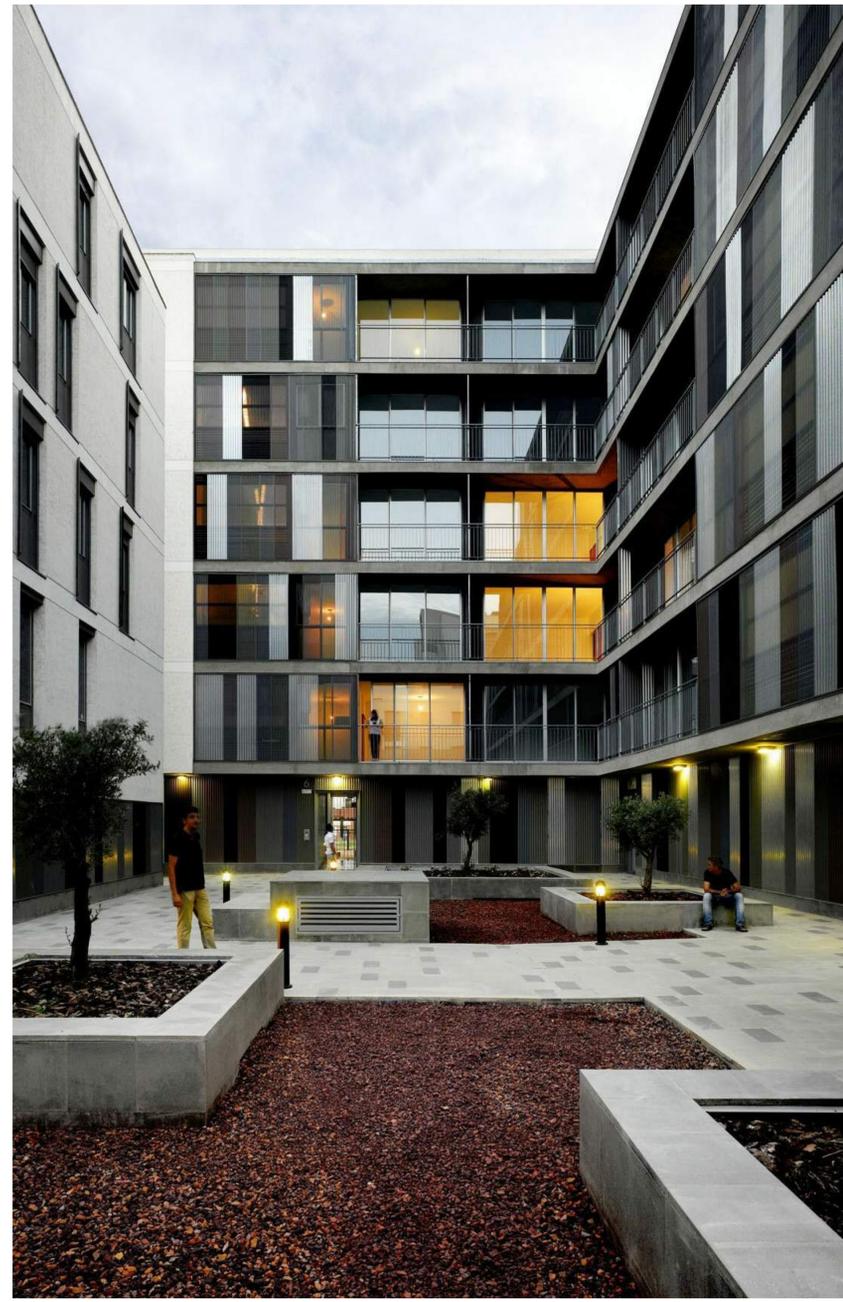
PLANNING NO.: PDC17-047
PROJECT NO.: 17019.00
DATE: APRIL 30, 2018
SCALE:

SHEET TITLE:

**PRECEDENT IMAGERY -
OFFICE**

SHEET NO:

A-100



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KEYPLAN

PLANNING NO.: PDC17-047
PROJECT NO.: 17019.00
DATE: APRIL 30, 2018
SCALE:

SHEET TITLE:
**PRECEDENT IMAGERY -
RESIDENTIAL**

SHEET NO:
A-101

PLAZA CHARACTERISTIC



FLEXIBLE USE COURTYARD



FLEXIBLE USE COURTYARD



GREEN PARK CHARACTER



FLUID GEOMETRY

EMERGENCY VEHICLE ACCESS 26'



EMERYVILLE GREENWAYS

DESIGN ELEMENTS



TRELLIS FOCAL POINT



SPECIMEN PLANTINGS & STORMWATER CONTROL



PLAZA SEATING

PODIUM AMENITIES



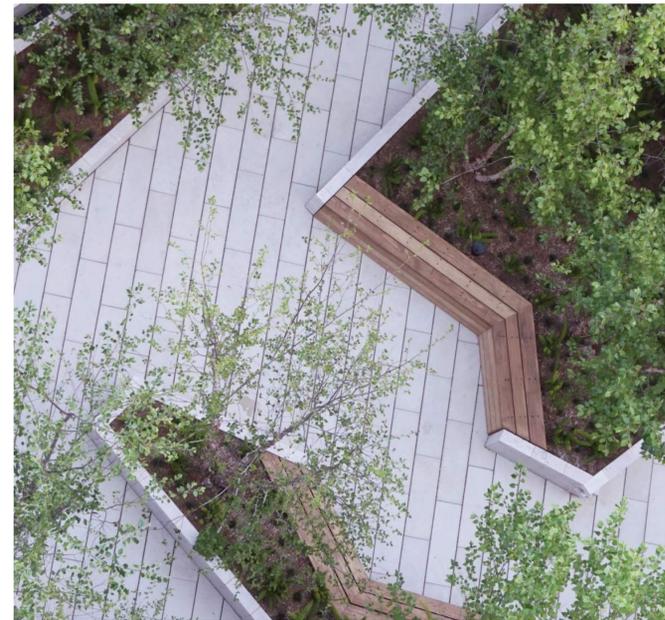
INDOOR OUTDOOR SPACES



POOL WITH SECURITY PLANTING



POOL & SPA



PODIUM MATERIALS



POOL AMENITY BUILDING



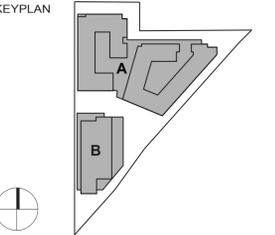
SEATING AROUND FIRE PIT

ISSUES	DATE
PRE-APPLICATION MEETING	09/29/2017
PLANNED DEVELOPMENT ZONING	10/12/2017
PDZ RESUBMITTAL	04/30/2018

#	REVISION LIST	DATE
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GATEWAY STATION - PLANNED DEVELOPMENT ZONING

1410 S BASCOM AVE
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PLANNING NO.: PDC17-047
 PROJECT NO.: 17019.00
 DATE: APRIL 30, 2018
 SCALE:
 SHEET TITLE:
PRECEDENT IMAGERY LANDSCAPE

SHEET NO: **A102**

4/24/2018 1:04:41 PM

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TREES

- Ginkgo biloba / Maidenhair Tree 50'-80' Height
 - Ulmus 'Frontier' / Frontier Elm 30'-40' Height
 - Quercus agrifolia / Live Oak 60'-80' Height
 - Aesculus californica / California Buckeye 25'-45' Height
 - Tristanopsis laurina / Water Gum Tree 20'-40' Height
 - Arbutus 'Marina' / Strawberry Tree 20'-40' Height
 - Schinus molle / California Pepper Tree 25'-40' Height
 - Phoenix Canariensis/Canary Island Date Palm 12' Brown Trunk Height Min
- *Trees in Planters will be substantially dwarfed



SHRUBS

- Cornus stolonifera / American Dogwood 3'-6' Height
- Garrya elliptica / Silk Tassel 5'-10' Height
- Heteromeles arbutifolia / Toyon 10'-15' Height
- Rhamnus californica / Coffeeberry 4'-6' Height
- Prunus ilicifolia / Hollyleaf Cherry 6'-15' Height
- Ribes sanguineum / Redflower Currant 6'-15' Height

GROUNDCOVERS

- Elymus glaucus / Blue Wildrye
- Sedum spp.
- Senecio spp.
- Lomandra spp.
- Muhlenbergia spp.
- Dierama pulcherrimum / Angel's Rod
- Fragaria chiloensis / Beach Strawberry

UNIT PAVER TYPE 1

UNIT PAVER TYPE 2

SEAT WALL/ RAISED PLANTER

PLANTING AREA

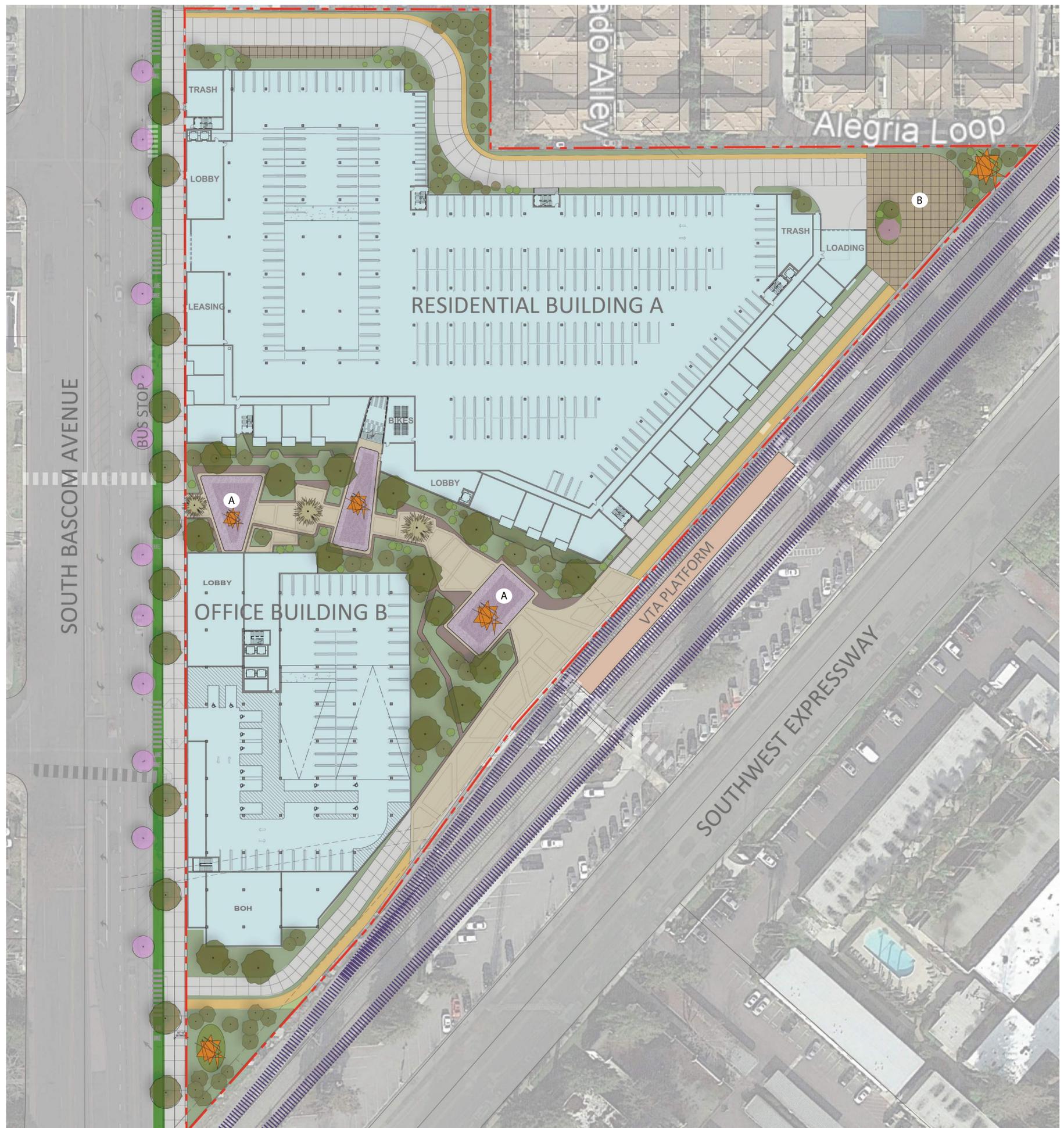
DECOMPOSED GRANITE WALKING /JOGGING PATH

SCULPTURAL/ STRUCTURAL ELEMENT

PROPERTY LINE

A CENTRAL PUBLIC PLAZA

B TURF BLOCK PLAZA



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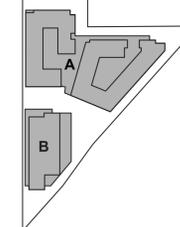
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**GATEWAY STATION
- PLANNED
DEVELOPMENT
ZONING**

1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN



PLANNING NO.: PDC17-047
PROJECT NO.: 17019.00
DATE: APRIL 30, 2018
SCALE: 1"=40'

SHEET TITLE:
**SITE PLAN
(ILLUSTRATIVE)**

SHEET NO.:

A200



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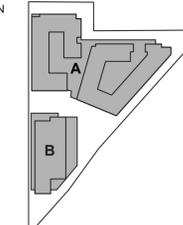
ISSUES	DATE
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GATEWAY STATION - PLANNED DEVELOPMENT ZONING

1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN



PLANNING NO.: PDC17-047
PROJECT NO.: 17019.00
DATE: APRIL 30, 2018
SCALE: 1"=40'

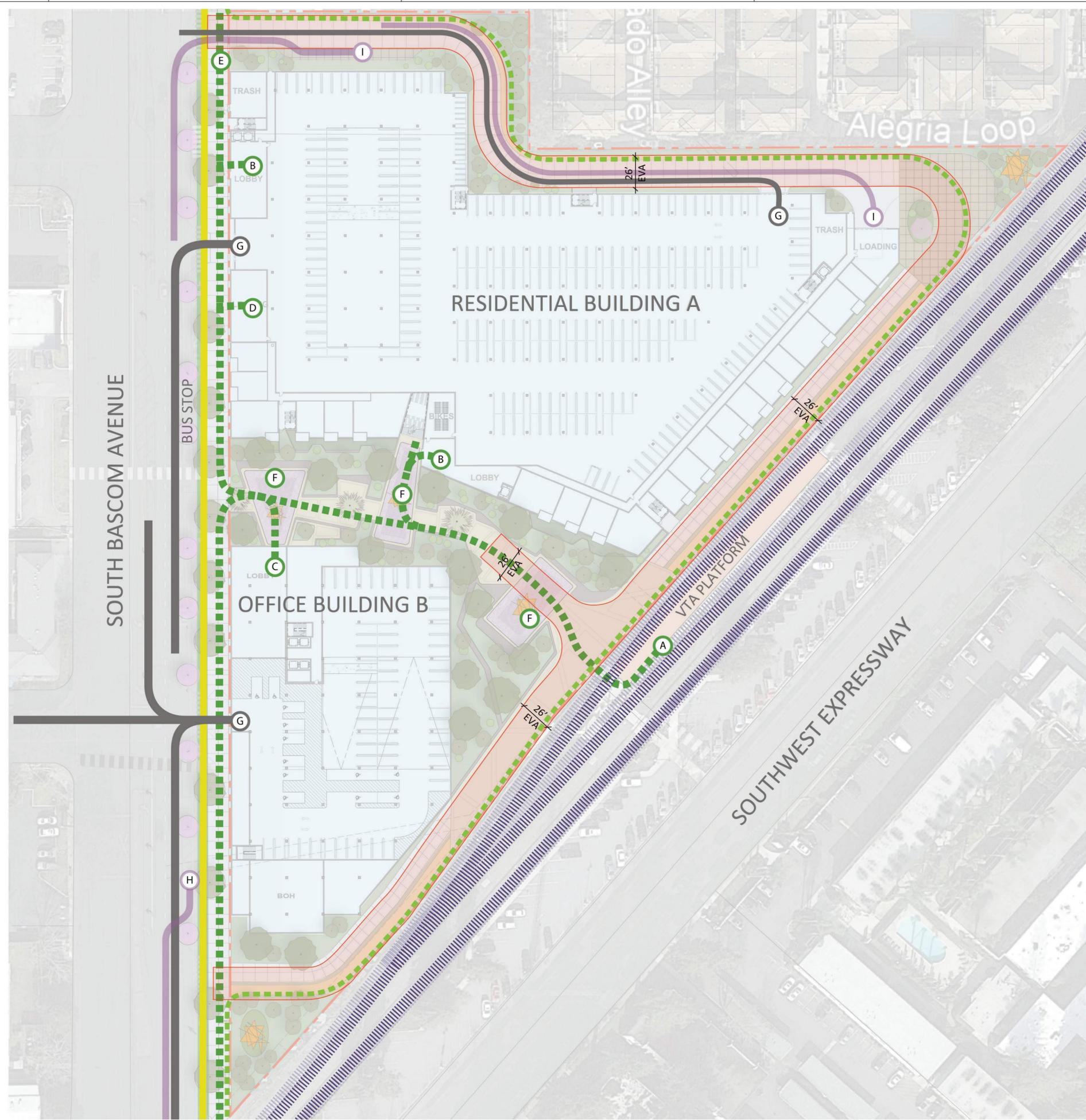
SHEET TITLE:
CIRCULATION PLAN

SHEET NO.:

A201

- (A)** (E) VTA STATION PLATFORM
- (B)** RESIDENTIAL BUILDING LOBBY
- (C)** OFFICE BUILDING LOBBY
- (D)** LEASING & AMENITY ENTRY
- (E)** PEDESTRIAN ROUTE TO N. BASCOM
- (F)** PUBLIC PLAZA
- (G)** ENTRY TO PARKING GARAGE
- (H)** LOADING / SERVICE ZONE
- (I)** RESIDENTIAL SERVICE ZONE

- PEDESTRIAN ROUTE
- AUTOMOBILE ROUTE
- SERVICE ROUTE
- BIKE ROUTE
- EMERGENCY VEHICLE ZONE
- JOGGING / WALKING PATH
- RAIL



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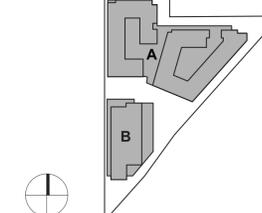
ISSUES	DATE
PRE-APPLICATION MEETING	09/29/2017
PLANNED DEVELOPMENT ZONING	10/12/2017
PDZ RESUBMITTAL	04/30/2018

#	REVISION LIST	DATE
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**GATEWAY STATION
- PLANNED
DEVELOPMENT
ZONING**

1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN



PLANNING NO.: PDC17-047
PROJECT NO.: 17019.00
DATE: APRIL 30, 2018
SCALE: 1"=40'

SHEET TITLE:
**PODIUM PLAN
(ILLUSTRATIVE)**

SHEET NO.:

A202

- SHRUBS**
- Cornus stolonifera / American Dogwood 3'-6' Height
 - Garrya elliptica / Silk Tassel 5'-10' Height
 - Heteromeles arbutifolia / Toyon 10'-15' Height
 - Rhamnus californica / Coffeeberry 4'-6' Height
 - Prunus ilicifolia / Hollyleaf Cherry 6'-15' Height
 - Ribes sanguineum / Redflower Currant 6'-15' Height

- GROUNDCOVERS**
- Elymus glaucus / Blue Wildrye
 - Sedum spp.
 - Senecio spp.
 - Lomandra spp.
 - Muhlenbergia spp.
 - Dierama pulcherrimum / Angel's Rod
 - Fragaria chiloensis / Beach Strawberry

PEDESTAL PAVER

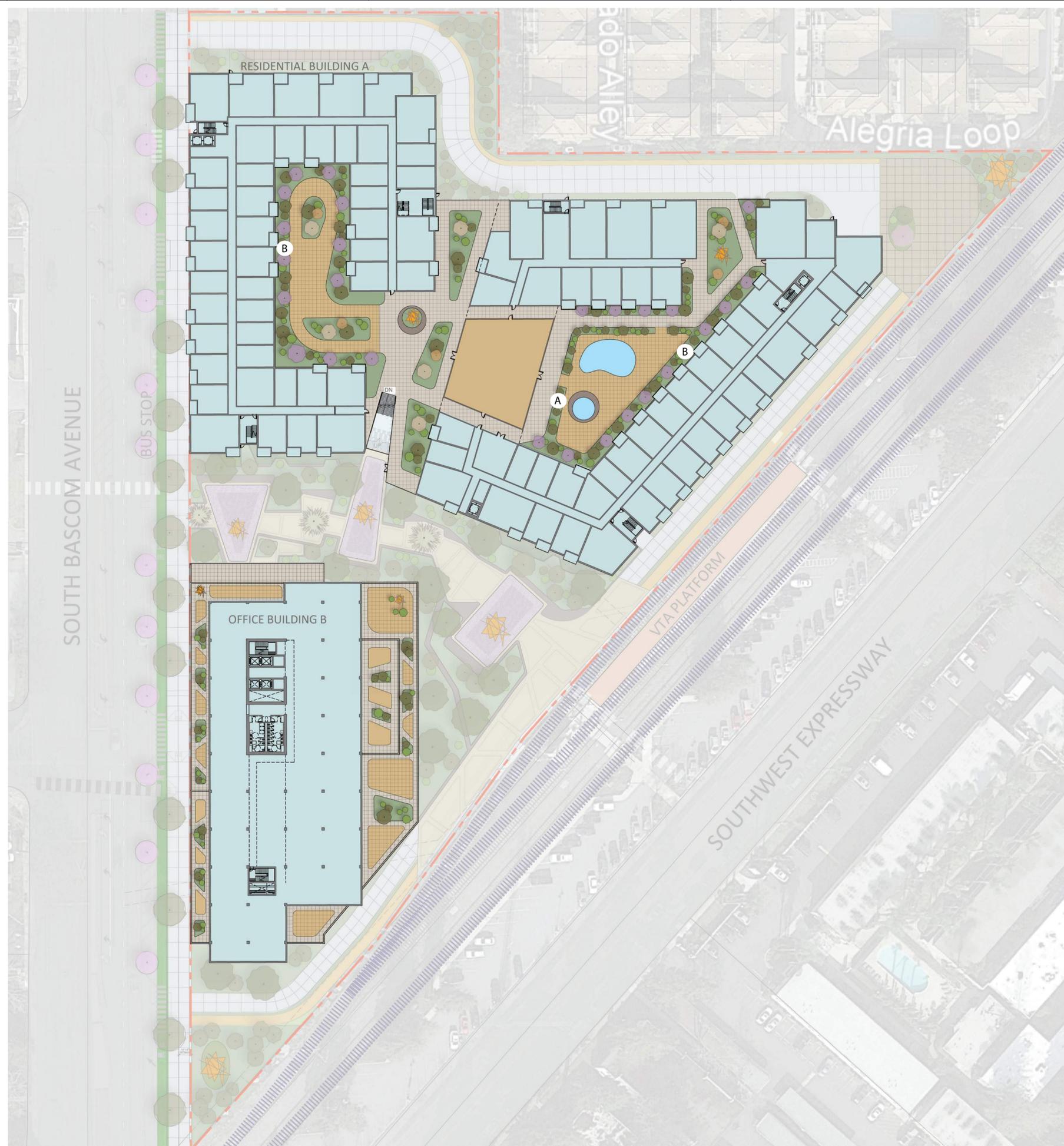
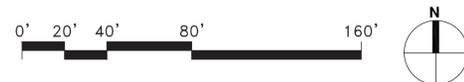
POOL / SPA

RAISED PLANTER

SCULPTURAL/ STRUCTURAL ELEMENT

A POOL PLANTING & FENCE/GATES

B PRIVACY PLANTINGS ADJACENT TO APARTMENT





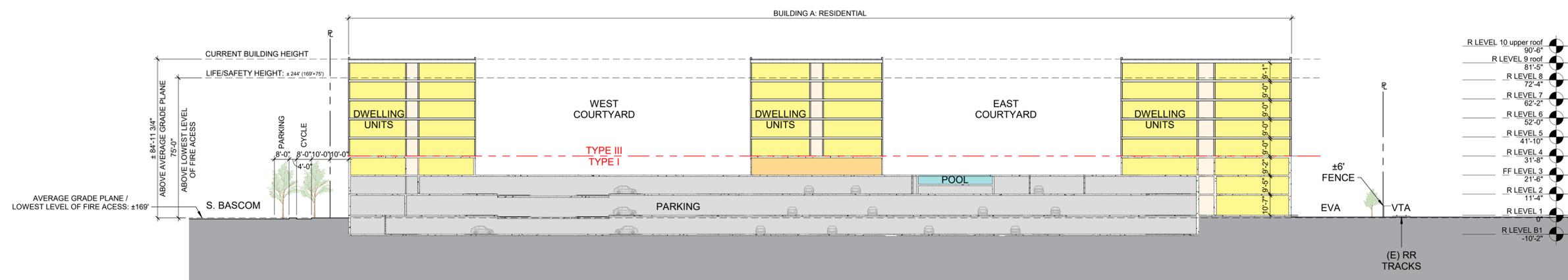
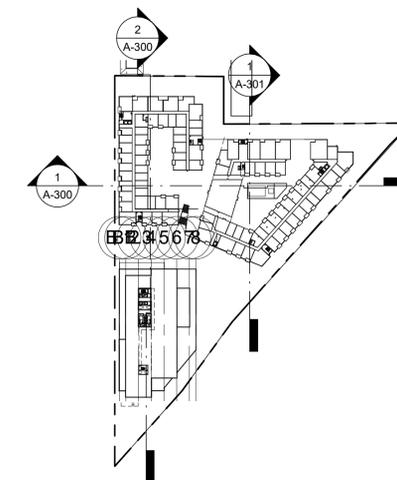
BAYWEST
DEVELOPMENT

WRNSSTUDIO

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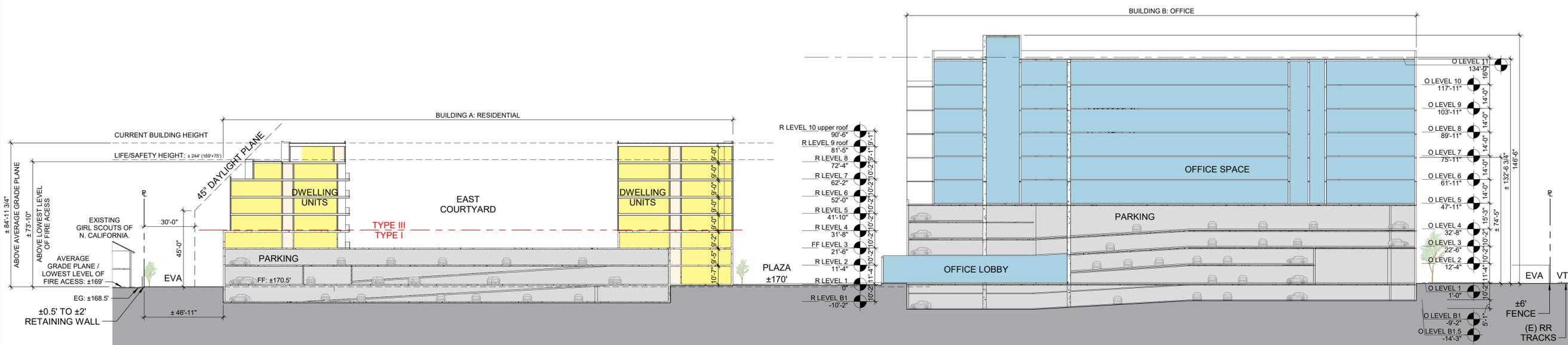
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1 CONCEPTUAL SITE SECTION
1" = 30'-0"

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2 CONCEPTUAL SITE SECTION
1" = 30'-0"

**GATEWAY STATION
- PLANNED
DEVELOPMENT
ZONING**

1410 S BASCOM AVE
SAN JOSE, CA 95128

KEYPLAN

PLANNING NO.: PDC17-047
PROJECT NO.: 17019.00
DATE: APRIL 30, 2018
SCALE: As indicated

SHEET TITLE:
**CONCEPTUAL SITE
SECTIONS**

SHEET NO:

A-300

5/29/2018 4:52:14 PM



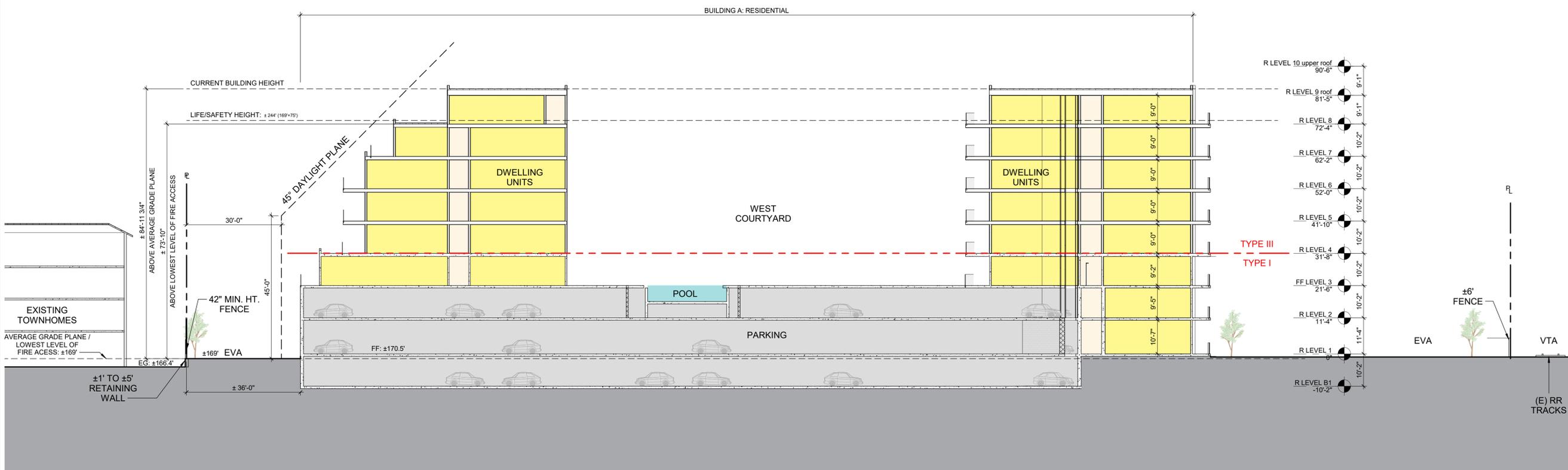
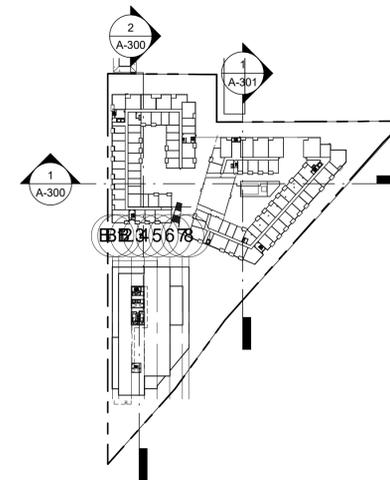
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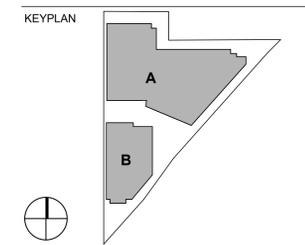


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GATEWAY STATION - PLANNED DEVELOPMENT ZONING

1410 S BASCOM AVE
SAN JOSE, CA 95128



PLANNING NO.: PDC17-047
PROJECT NO.: 17019.00
DATE: APRIL 30, 2018
SCALE: As indicated

SHEET TITLE:
CONCEPTUAL SITE SECTIONS

SHEET NO:
A-301

1 CONCEPTUAL SITE SECTION: TRANSITIONAL HEIGHT DIAGRAM PER SOUTH BASCOM URBAN VILLAGE PLAN FIGURE 5.3
1/16" = 1'-0"

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If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch.

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