



PD PERMIT
FOR
THE HARKER SCHOOL

4525 Union Ave
San Jose, CA 95124



CONSTRUCTION
INCORPORATED

CONTACTS

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PROJECT SUMMARY

DESCRIPTION OF WORK:
CONVERSION OF EXISTING PRESCHOOL TO A 600 STUDENT MIDDLE SCHOOL FOR GRADES 6-8.
THE PROJECT CONSISTS OF:
1. DEMOLITION OF THREE 4,877 SQUARE FEET (SF) BUILDINGS ("BUILDING B2", "BUILDING B3", & "BUILDING B5" IN SITE DEMO PLAN SHEET A1.0)
2. RENOVATED GYM/AUDITORIUM ("BUILDING C" IN PROPOSED SITE PLAN SHEET A1.1); INCLUDES DEMOLITION OF THE NORTH END AND EAST END TOTALING APPROXIMATELY 4,000 SQUARE FEET (SF) AND NEW CONSTRUCTION TO THE NORTH END AND EAST END TOTALING APPROXIMATELY 16,500 SQUARE FEET (SF).
3. NEW CENTRAL CLASSROOM BUILDING ("BUILDING E" IN SITE PLAN SHEET A1.1); INCLUDES A NEW ACADEMIC BUILDING TOTALING APPROXIMATELY 39,000 SQUARE FEET (SF).

THE PROJECT WOULD RESULT IN AN EXTENSION OF THE EXISTING EVA ROAD TO ACCESS THE NEW CENTRAL CLASSROOM BUILDING ("BUILDING E"). THE PROJECT WOULD RESULT IN RECONFIGURATION AND RESHAPING OF THE EXISTING PLAYING FIELD.

CODE COMPLIANCE
ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS AS APPROVED & AMENDED BY THE CITY OF SAN JOSE, CA

CALIFORNIA BUILDING CODE: 2016 EDITION
CALIFORNIA MECHANICAL: 2016 EDITION
CALIFORNIA ELECTRICAL CODE: 2016 EDITION
CALIFORNIA PLUMBING CODE: 2016 EDITION
CALIFORNIA FIRE CODE: 2016 EDITION
CALIF. GREEN BUILDING STANDARDS: 2016 EDITION

IT IS THE INTENTION THAT THE ABOVE CODES & REGULATIONS REFER TO THE LATEST EDITION OR REVISION IN FORCE ON THE DATE OF THESE DRAWINGS.

FIRE RESISTIVE REQUIREMENTS
III-B
STRUCTURAL FRAME: 0 HOUR 0 HOUR
EXTERIOR BEARING WALLS: 2 HOUR 0 HOUR
INTERIOR BEARING WALLS: 0 HOUR 0 HOUR
EXTERIOR NON-BEARING WALLS & PARTITIONS: 0 HOUR 0 HOUR
FLOOR CONSTRUCTION: 0 HOUR 0 HOUR
ROOF CONSTRUCTION: 0 HOUR 0 HOUR

SITE INFORMATION

ADDRESS 4525 UNION AVE
SAN JOSE, CA 95124
ASSESSORS PARCEL NO.: 421-07-003
SITE AREA: ±7.7 ACRES (335,412 SF)

EXISTING LANDSCAPE COVERAGE:
PATHS, ASPHALT, COURTS, ETC. 46,080
BUILDING COVERAGE: 44,444
LOT COVERAGE: (63%) 92,889

PROPOSED LANDSCAPE COVERAGE:
PATHS 54,441
COURTS 14,190
CURBS 1,849
ASPHALT 53,948
BUILDING COVERAGE: 86,700
LOT COVERAGE: (63%) 211,128

FLOOR AREA RATIO: 0.33

PARKING REQUIREMENTS
RATIOS PER: PDC91-077:
1 SPACE / 250 SF OFFICE
1 SPACE / INSTITUTIONAL STAFF (TEACHERS, FACULTY, COACHES, ETC.)

EXISTING ADMIN AREA - BUILDING A: 11,000 SQ.FT.
11,000 SF OFFICE SPACE (250 SF 44 SPACES
56 INSTITUTIONAL STAFF 56 SPACES
TOTAL SPACES REQ. 100 SPACES

PARKING REQUIRED
STANDARD 88
EV / CLEAN AIR 7
ACCESSIBLE 4
VAN ACCESSIBLE 1
TOTAL REQUIRED: 100

PARKING PROVIDED
STANDARD 94
EV SPACES (1 ACCESSIBLE) 7
ACCESSIBLE 4
VAN ACCESSIBLE 2
TOTAL PROVIDED: 107

ELECTRIC VEHICLE CHARGING STATIONS REQ.
PER TABLE 11B-228.3.2.1
REQUIRED: 7
PROPOSED: 6

BICYCLE PARKING REQUIREMENT
1/ FULL TIME EMPLOYEE: 49
6/CLASSROOM: 6X51: 306
TOTAL REQD. BICYCLE PARKING: 355

(PER SAN JOSE MUNICIPAL CODE 20.90: REQD. BICYCLE PARKING SPACES FOR (K-8) SCHOOL: 1/FULL TIME EMPLOYEE + PLUS 6/CLASSROOM)

BICYCLE PARKING PROVIDED: 12
HARKER SCHOOL IS SEEKING A REDUCED BICYCLE PARKING REQUIREMENT EXEMPTION (SEE ENCLOSED LETTER)

*ZONING: PDC91-077

BUILDING INFORMATION

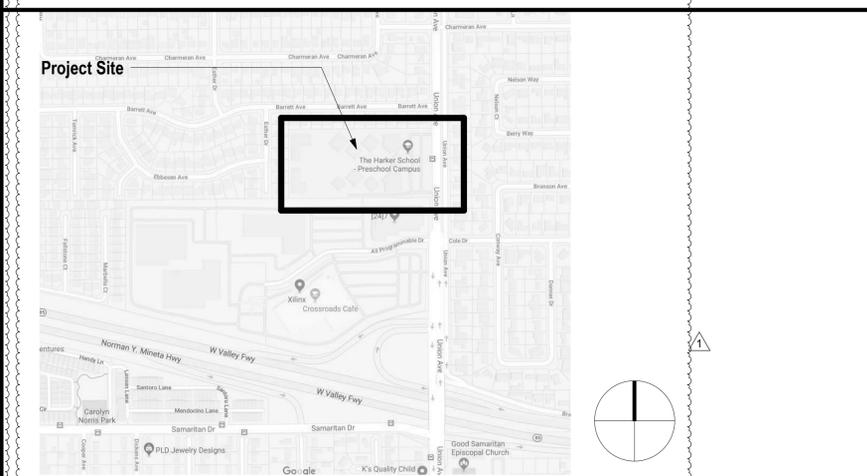
RENOVATED GYM/AUDITORIUM ("BUILDING C")
NUMBER OF STORIES: 1
AREA OF WORK:
(E) TO BE RENOVATED: 5,288
(N) CONSTRUCTION (GROUND LEVEL): 15,254
TOTAL: 20,542
TYPE OF CONSTRUCTION: V-B
OCCUPANCY: A-3
FIRE SPRINKLERED: Y
ALLOWABLE HEIGHT: 34'-0"

CENTRAL CLASSROOM BUILDING ("BUILDING E")
NUMBER OF STORIES: 2
AREA PER STORY:
1ST FLOOR: 21,111
2ND FLOOR: 17,787
TOTAL: 38,898
TYPE OF CONSTRUCTION: III-B
OCCUPANCY: E-1
FIRE SPRINKLERED: Y
ALLOWABLE HEIGHT: 34'-0"

APPROVALS

PREVIOUS APPROVALS
PDC91-077 PLANNING DEVELOPMENT REZONING FROM R-1 TO A(PD)
PD92-021 PD PERMIT TO ALLOW CHILDREN'S SHELTER
PD12-027 PD PERMIT TO ALLOW PRIVATE SCHOOL WITH UP TO 600 PRE-K THROUGH 5TH GRADE STUDENTS AND ASSOCIATED SITE RE-DEVELOPMENT

VICINITY MAP



DRAWING INDEX

Sheet No.	Sheet Name
GENERAL	
G0.1	COVER SHEET
G0.2	PD ZONING DISTRICT MAP
G0.3	AERIAL VICINITY MAP
G0.4	GENERAL NOTES & ABBREVIATIONS

ARCHITECTURAL	
A1.0	SITE DEMO PLAN / EXISTING CONDITIONS
A1.1	PROPOSED SITE PLAN

ARCHITECTURAL - BUILDING C	
A2.1-C	BUILDING C - FLOOR PLAN
A3.1-C	BUILDING C - ELEVATIONS
A3.2-C	BUILDING C - SECTIONS

ARCHITECTURAL - BUILDING E	
A2.1-E	BUILDING E - FLOOR PLANS
A3.1-E	BUILDING E - ELEVATIONS
A3.2-E	BUILDING E - SECTIONS

CIVIL	
C1.0	EXISTING CONDITIONS
C2.0	PRELIMINARY SITE PLAN
C2.1	PRELIMINARY SITE PLAN
C3.0	PRELIMINARY GRADING PLAN
C3.1	PRELIMINARY GRADING PLAN
C4.0	PRELIMINARY UTILITY PLAN
C4.1	PRELIMINARY UTILITY PLAN
C5.0	PRELIMINARY STORMWATER MANAGEMENT PLAN
C5.1	PRELIMINARY STORMWATER MANAGEMENT PLAN
C6.0	FIRE ACCESS AND HOSE REACH EXHIBIT
C6.1	FIRE ACCESS AND HOSE REACH EXHIBIT

LANDSCAPE	
L10.0	LANDSCAPE NOTES, LEGENDS, AND FINISH SCHEDULE
L10.1	PLANTING NOTES, LEGENDS, AND DETAILS
L10.2	CONCEPTUAL LANDSCAPE PLAN
L10.3	LANDSCAPE IMAGERY
L10.4	SCHEMATIC PLANTING PLAN
L10.5	IRRIGATION PLAN
L10.6	IRRIGATION LEGEND AND NOTES
L10.7	IRRIGATION DETAILS
L10.8	IRRIGATION DETAILS
L10.9	IRRIGATION SCHEDULES AND CALCS
L10.10	SCHEMATIC SITE LIGHTING PLAN
L10.11	TREE DISPOSITION PLAN
L10.12	SCHEMATIC LANDSCAPE DETAILS

GENERAL NOTES:
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REVISIONS

NO.	DATE	DESCRIPTION	BY
1	01/23/2019	PD COMMENTS	

COVER SHEET

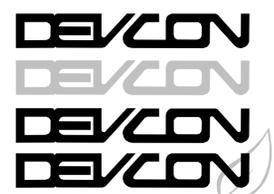
JOB NO. 17-203	SHEET NO.
DATE: 09/27/2018	G0.1
DRAWN: JPA	
CHECKED: JB	
ISSUE: PLANNING	

PREVIOUS PLANNING CASES

PDC91-077	PLANNED DEVELOPMENT REZONING FROM R-1 TO A(PD)
PD92-021	PD PERMIT TO ALLOW CHILDREN'S SHELTER
PD12-027	PD PERMIT TO ALLOW PRIVATE SCHOOL WITH UP TO 600 PRE-K - 5TH GRADE STUDENTS AND ASSOCIATED REDEVELOPMENT

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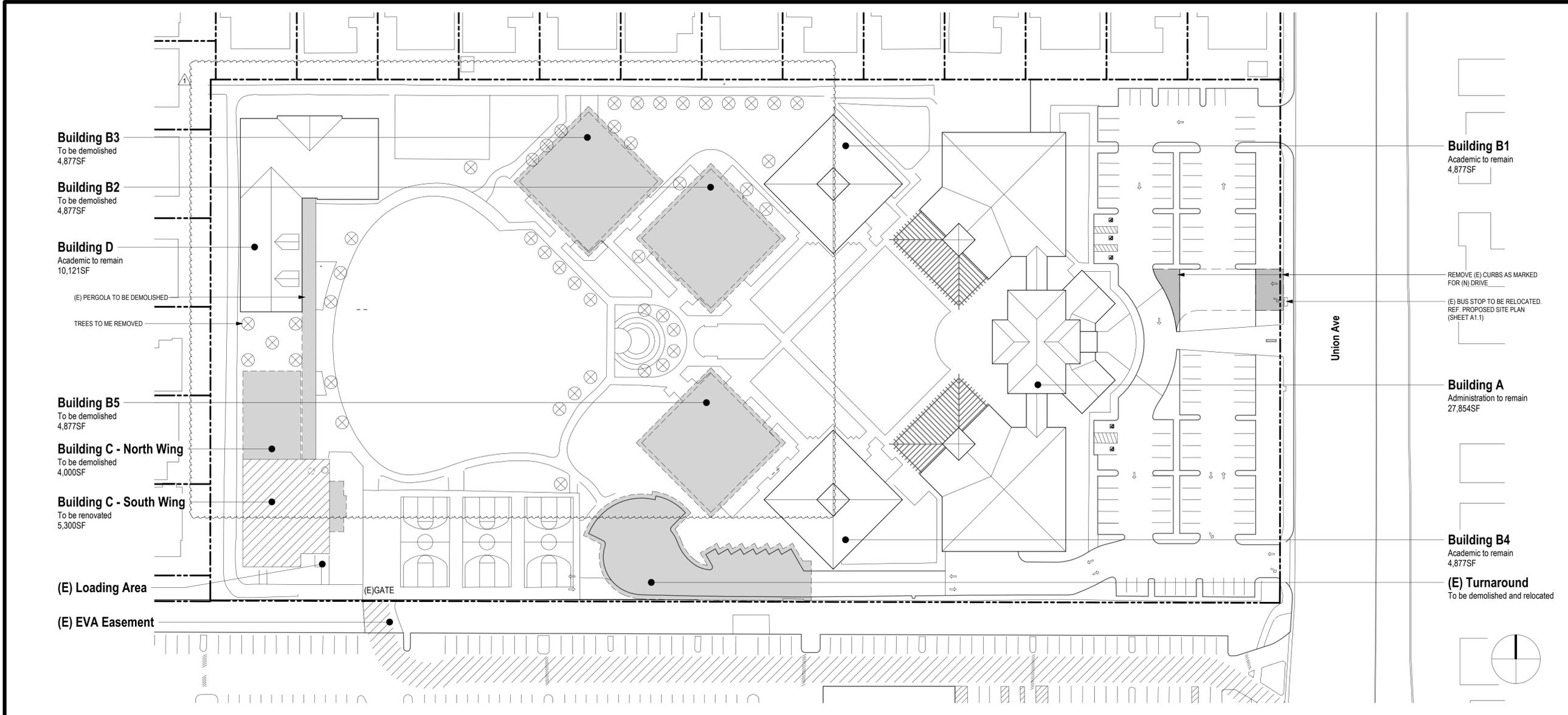
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1	01/23/2019	PD COMMENTS	

SITE DEMO PLAN /
EXISTING CONDITIONS

JOB NO. 17-203	SHEET NO.
DATE: 09/27/2018	A1.0
DRAWN: JPA	
CHECKED: JB	
ISSUE: PLANNING	



SITE DEMO PLAN 1" = 40'-0"



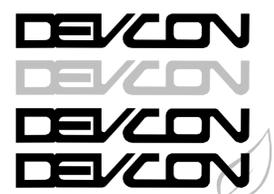
EXISTING AERIAL MAP - WEST VIEW



EXISTING AERIAL MAP

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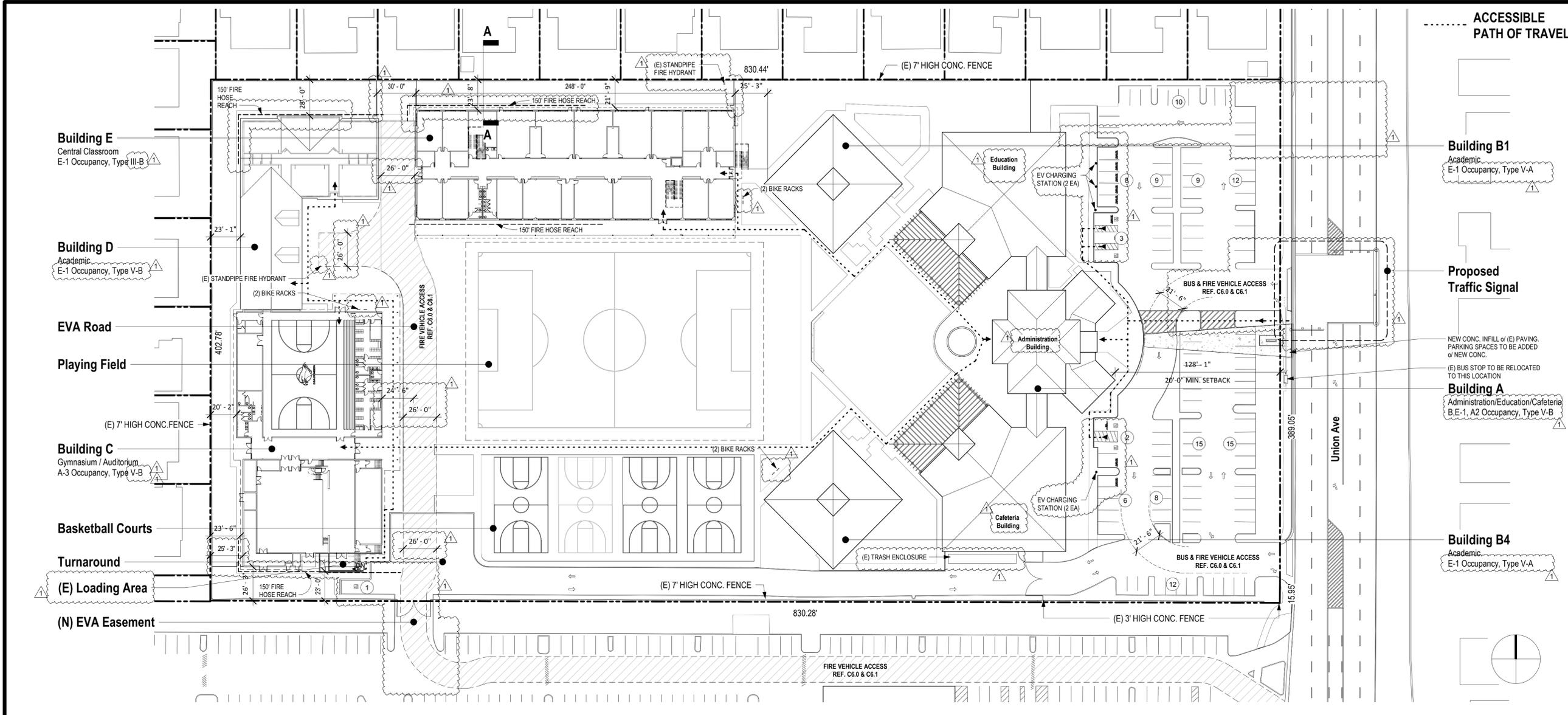
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REVISIONS

NO.	DATE	DESCRIPTION	BY
1	01/23/2019	PD COMMENTS	

PROPOSED SITE PLAN

JOB NO. 17-203	SHEET NO.
DATE: 09/27/2018	A1.1
DRAWN: JPA	
CHECKED: JB	
ISSUE: PLANNING	



SITE PLAN 1" = 40'-0"

Building / Description	Children's Shelter PDC 91-077	Harker School PD 12-027	Harker Middle School 2018 Proposal
Building 'A' - Administration (11,000 SF), Education, Cafeteria.	27,854 SF	27,854 SF	27,854 SF
Building 'B1' - Academic	4,877 SF	4,877 SF	4,877 SF
Building 'B2' - Academic	4,877 SF	4,877 SF	0 SF
Building 'B3' - Academic	4,877 SF	0 SF	0 SF
Building 'B4' - Academic	4,877 SF	4,877 SF	4,877 SF
Building 'B5' - Academic	4,877 SF	4,877 SF	0 SF
Building 'B6' - Academic	4,877 SF	0 SF	0 SF
Building 'C' - Gymnasium/Locker	8,828 SF	11,340 SF	20,542 SF
Building 'D' - Music/Drama	10,121 SF	10,121 SF	10,121 SF
Multi-purpose building	N/A	17,500 SF	0 SF
Building 'E' - Academic	N/A	N/A	38,898 SF
Totals	76,065 SF	86,323 SF	107,169 SF

BUILDING AREA SUMMARY

OCCUPANCY SEPARATION (SPRINKLERED)
 A TO E = NO SEPARATION REQUIRED

BUILDING C/D	EXISTING	PROPOSED	TOTAL
E OCCUPANCY	10,121 SF	+ 0 SF	= 10,121 SF
A-3 OCCUPANCY	5,288 SF	+ 15,254 SF	= 20,542 SF
TOTAL FIRST FLOOR	15,409 SF	+ 15,254 SF	= 30,663 SF

PROPOSED HEIGHT: 30'-0" 34'-0"

MIXED OCCUPANCY CALCULATIONS:

AREA INCREASE BASED ON FRONTAGE 506.3.3 CBC

$I = \frac{F/P - 0.25}{W/30}$
 $I = \frac{1.014/1.014 - 0.25}{25/30}$
 $I = 0.625$

ALLOWABLE AREA INCREASE 506.2.4 CBC

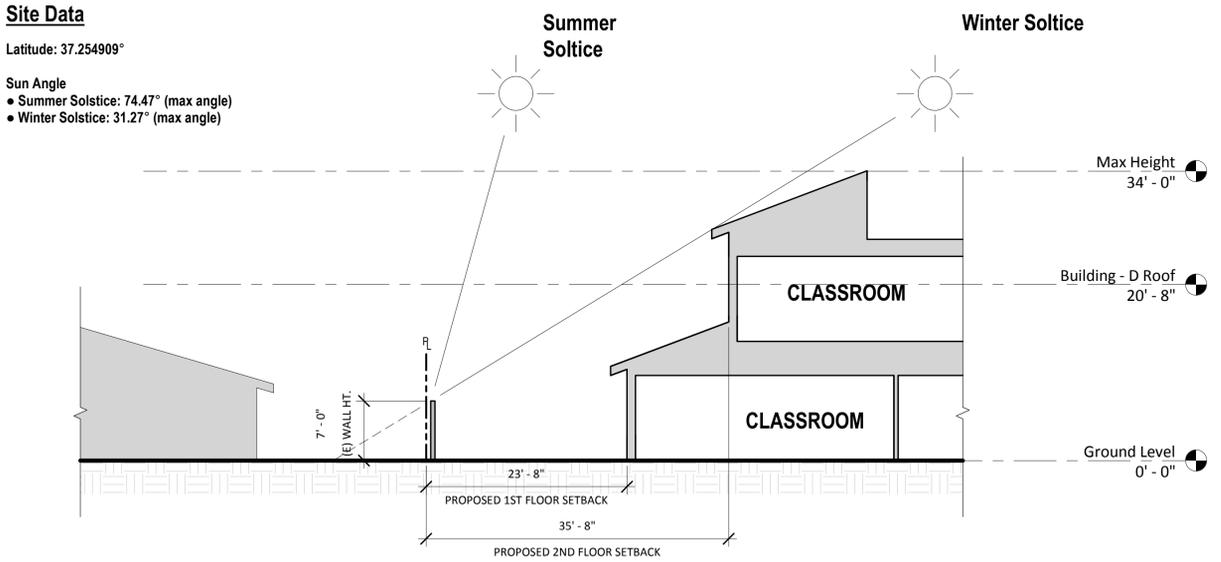
OCCUPANCY GROUP	E	A-3
BASIC ALLOWABLE	38,000 SF	24,000 SF
TOTAL ALLOWABLE AREA INCREASE	43,938 SF	27,750 SF
ACTUAL AREA ALLOWABLE	10,121 SF	20,542 SF
RATIO	23 +	.74 = .97 < 1.0 THEREFORE OK

ALLOWABLE AREA (BUILDING C & D)

Site Data

Latitude: 37.254909°

- Sun Angle
- Summer Solstice: 74.47° (max angle)
 - Winter Solstice: 31.27° (max angle)

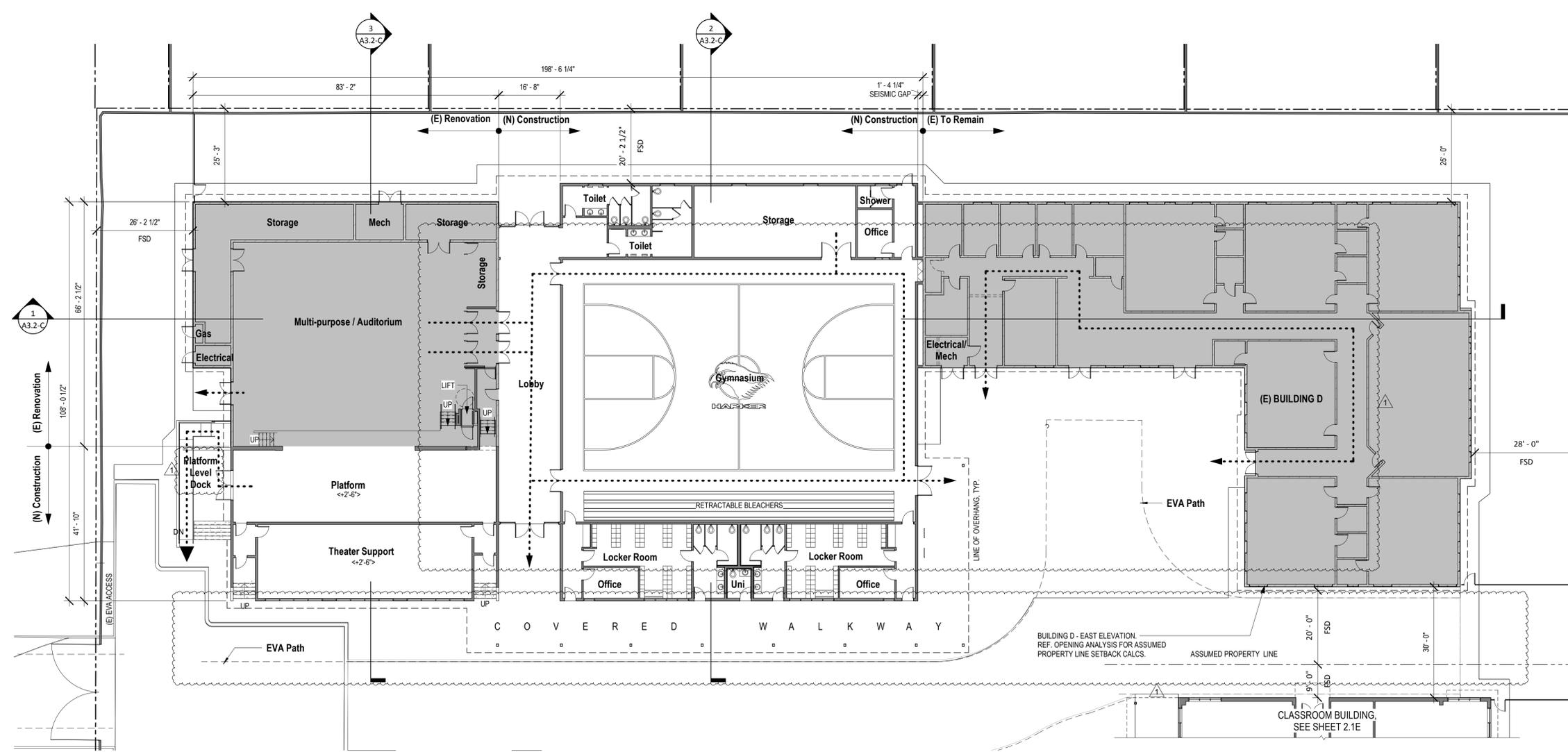


SECTION A-A: SHADOW STUDY 1" = 10'-0"

OPENING ANALYSIS: BUILDING D					(TABLE 705.8)
	PROPOSED WALL AREA	FIRE SEPARATION DISTANCE	DEGREE OF OPENING PROTECTION	MAX. ALLOWABLE OPENING AREA (% / SF)	PROPOSED AREA OF OPENING (% / SF)
EAST ELEVATION	822 SF	20' - 0"	UNPROTECTED & SPRINKLERED	NO LIMIT	NO LIMIT, OK

LEGEND	
-----	EGRESS PATH OF TRAVEL
-----	PROPERTY LINE
-----	ASSUMED PROPERTY LINE
-----	FIRE SEPARATION DISTANCE

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1 BUILDING C - LEVEL 01
1/16" = 1'-0"

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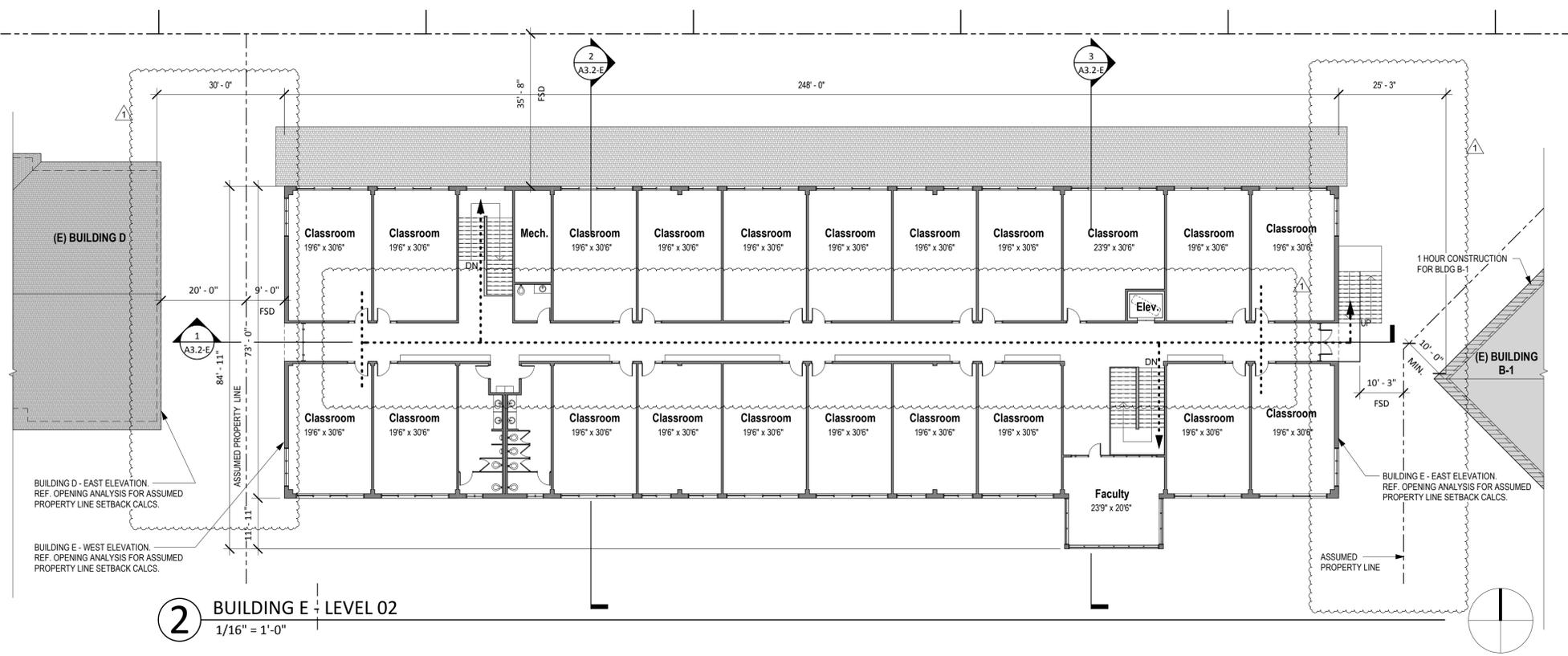
LEGEND	
=====	NEW WALL
-----	EXISTING WALL
=====	EXISTING BUILDING
-----	ACCESSIBLE PATH OF TRAVEL SEE A1.1 FOR CONTINUATION TO PUBLIC WAY

BUILDING C - FLOOR PLAN
JOB NO. 17-203 SHEET NO. **A2.1-C**
DATE: 09/27/2018
DRAWN: JPA
CHECKED: JB
ISSUE: PLANNING

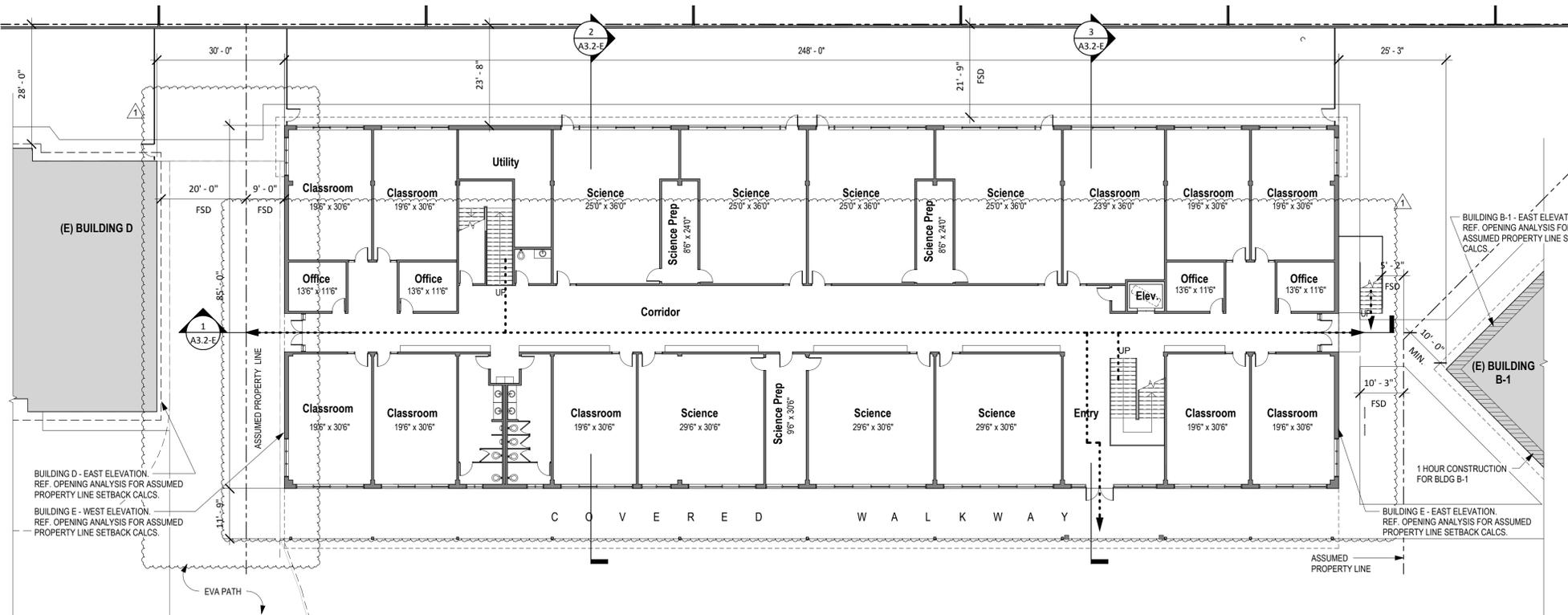
OPENING ANALYSIS: BUILDING E (TABLE 705.8)					
	PROPOSED WALL AREA	FIRE SEPARATION DISTANCE	DEGREE OF OPENING PROTECTION	MAX. ALLOWABLE OPENING AREA (% / SF)	PROPOSED AREA OF OPENING (% / SF)
EAST ELEVATION	2,363 SF	5' - 2"	UNPROTECTED & SPRINKLERED	45% / 1,063 SF	20% / 480 SF, OK
WEST ELEVATION	2,363 SF	9' - 0"		75% / 1,772 SF	20% / 480 SF, OK

LEGEND	
-----	EGRESS PATH OF TRAVEL
-----	PROPERTY LINE
-----	ASSUMED PROPERTY LINE
-----	FIRE SEPARATION DISTANCE

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2 BUILDING E - LEVEL 02
1/16" = 1'-0"



1 BUILDING E - LEVEL 01
1/16" = 1'-0"

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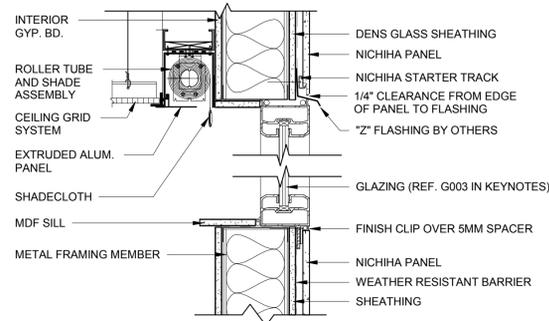
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NO.	DATE	DESCRIPTION	BY
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BUILDING E - FLOOR PLANS

JOB NO. 17-203	SHEET NO.
DATE: 09/27/2018	A2.1-E
DRAWN: JPA	
CHECKED: JB	
ISSUE: PLANNING	

ACCESSIBLE PATH OF TRAVEL
SEE A1.1 FOR CONTINUATION
TO PUBLIC WAY

- NOTE:
- NICHIHA PANEL REPRESENTED HERE IS 5/8" NICHIHA PRODUCT, ADJUST ACCORDINGLY FOR OTHER NICHIHA PRODUCT THICKNESSES.
 - SHEATHING REPRESENTED HERE IS 1/2" EXTERIOR DENSGLOSS SHEATHING.
 - METAL FRAMING MEMBERS MUST BE A MINIMUM OF 18 GA.



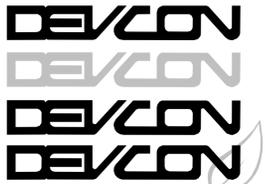
METAL STUD PANEL STOREFRONT WINDOW HEADER & SILL DETAIL WITH FLASHING & STARTER - 10 MM

5 WINDOW DETAIL
1 1/2" = 1'-0"

KEYNOTE	DESCRIPTION
D001	ALUMINUM FRAME: FLUOROPOLYMER PAINTED ALUMINUM CUSTOM DOOR
D006	PAINTED GALVANIZED HM DOORS AND FRAMES
G001	ALUMINUM FRAME: FLUOROPOLYMER PAINTED ALUMINUM CUSTOM WINDOW
G003	CLEAR INSULATING GLASS VIRACON VE1-85
R003	STANDING SEAM METAL ROOFING: PREFINISHED GALVALUME
R005	PREFINISHED GALVALUME FASCIA
R006	EXPOSED RAINWATER LEADERS AND GUTTERS: PREFINISHED GALVALUME
W001	FIBER CEMENT SIDING WITH 6" EXPOSURE
W003	FIBER CEMENT BOARD WITH 12" EXPOSURE
W004	PAINTED STEEL
W006	METAL PAINTED PIPE RAIL
W007	REPAINT EXISTING BUILDING, INCLUDING DOORS AND WINDOW TRIM
G005	ALUMINUM FLUOROPOLYMER LOUVERS

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REVISIONS

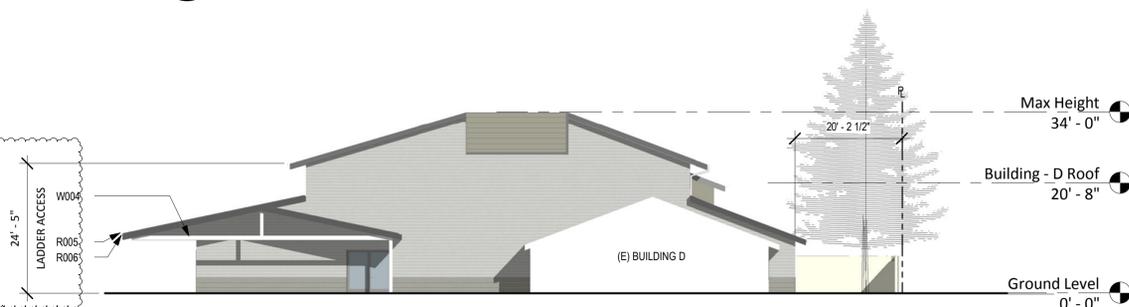
NO.	DATE	DESCRIPTION	BY
1	01/23/2019	PD COMMENTS	

BUILDING C - ELEVATIONS

JOB NO. 17-203	SHEET NO.
DATE: 09/27/2018	A3.1-C
DRAWN: JPA	
CHECKED: JB	
ISSUE: PLANNING	



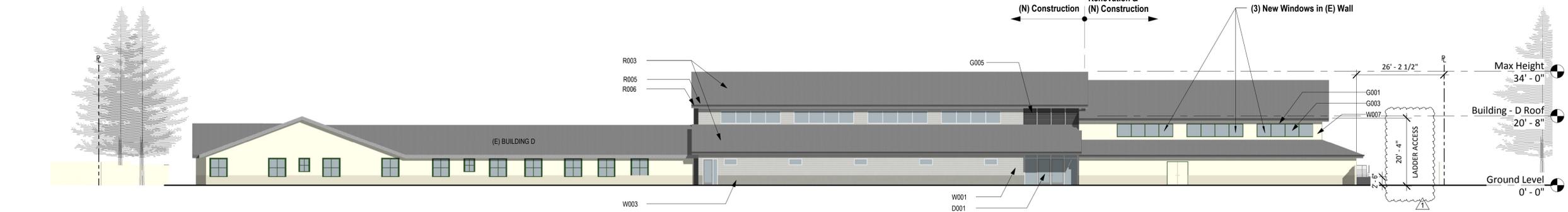
4 BUILDING C - EAST ELEVATION
1/16" = 1'-0"



3 BUILDING C - NORTH ELEVATION
1/16" = 1'-0"



2 BUILDING C - SOUTH ELEVATION
1/16" = 1'-0"



1 BUILDING C - WEST ELEVATION
1/16" = 1'-0"

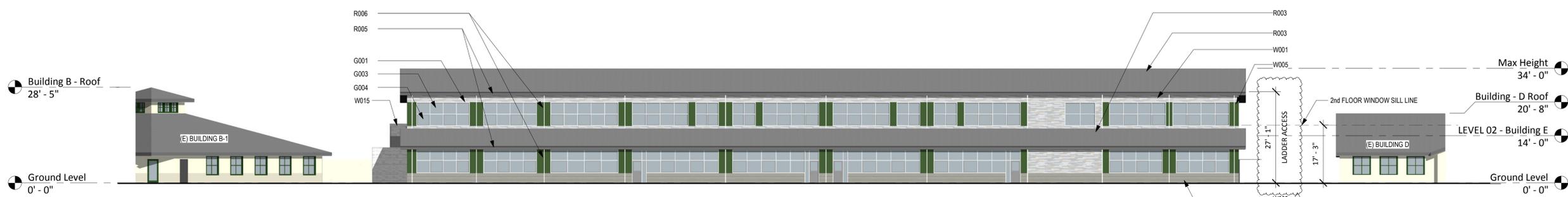
PD PERMIT
FOR
THE HARKER SCHOOL

4525 Union Ave
San Jose, CA 95124

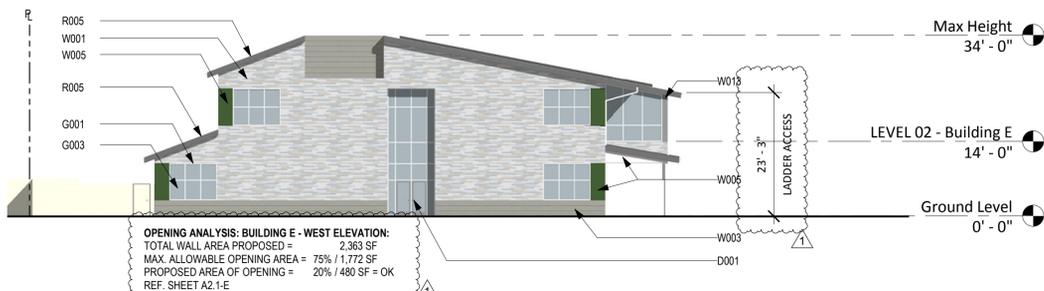


CONSTRUCTION
INCORPORATED

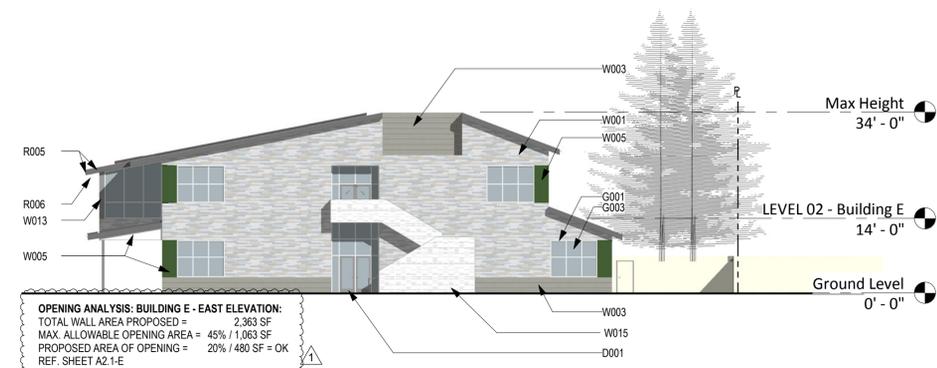
KEYNOTE	DESCRIPTION
D001	ALUMINUM FRAME: FLUOROPOLYMER PAINTED ALUMINUM CUSTOM DOOR
G001	ALUMINUM FRAME: FLUOROPOLYMER PAINTED ALUMINUM CUSTOM WINDOW
G003	CLEAR INSULATING GLASS VIRACON VE1-85
G004	OPERABLE LIGHTS: AWNING TYPE
R003	STANDING SEAM METAL ROOFING: PREFINISHED GALVALUME
R005	PREFINISHED GALVALUME FASCIA
R006	EXPOSED RAINWATER LEADERS AND GUTTERS: PREFINISHED GALVALUME
R007	ROOF MOUNTED PHOTOVOLTAIC PANEL (FUTURE)
W001	FIBER CEMENT SIDING WITH 6" EXPOSURE
W003	FIBER CEMENT BOARD WITH 12" EXPOSURE
W005	METAL PANELS: 1/8" ALUMINUM, FLUOROPOLYMER. PAINTED A CUSTOM COLOR
W013	STOREFRONT ALUMINUM
W015	STL. EXTERIOR STAIR EGRESS PORCH w/ METAL PANEL RAILINGS (BOK MODERN)



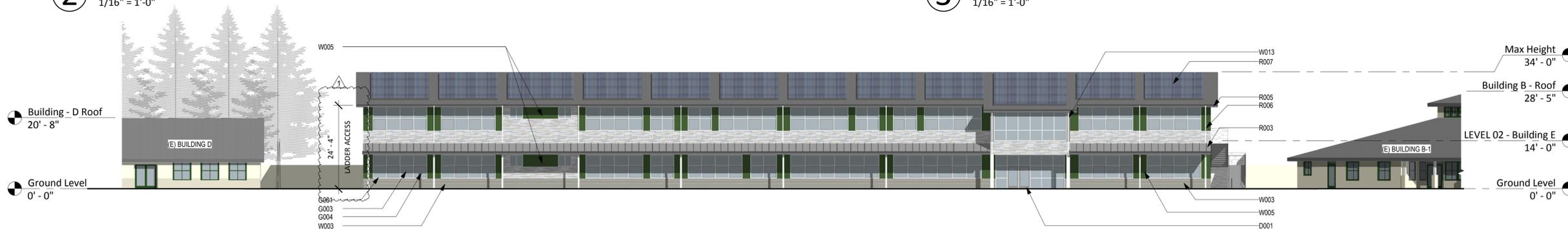
4 BUILDING E - NORTH
1/16" = 1'-0"



2 BUILDING E - WEST
1/16" = 1'-0"



3 BUILDING E - EAST
1/16" = 1'-0"



1 BUILDING E - SOUTH
1/16" = 1'-0"

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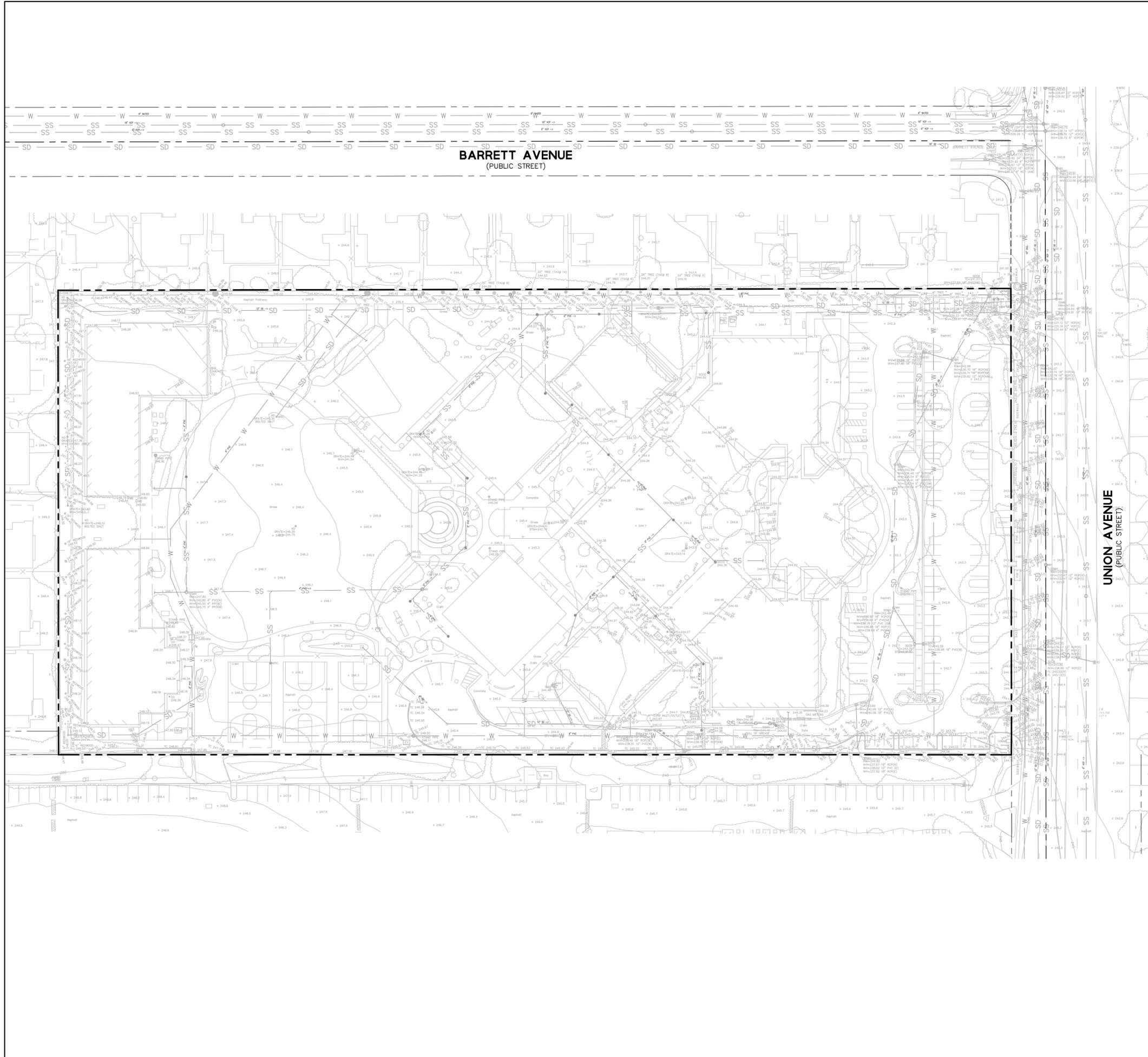
NO.	DATE	DESCRIPTION	BY
1	01/23/2019	PD COMMENTS	

BUILDING E - ELEVATIONS

JOB NO. 17-203
DATE: 09/27/2018
DRAWN: JPA
CHECKED: JB
ISSUE: PLANNING

SHEET NO.

A3.1-E



LEGEND

	PROPERTY LINE
	ADJACENT LOT LINE
	MONUMENT LINE
	LIMIT OF WORK
	GAS MAIN
	WATER MAIN
	ELECTRICAL LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE (AERIAL TOPO)
	JOINT UTILITY TRENCH
	OVER HEAD WIRE
	UNDERGROUND TELEPHONE
	FENCE
	CURB, GUTTER, AND SIDEWALK WITH DRIVEWAY
	EXISTING CONTOUR LINES
	CATCH BASIN
	STORM DRAIN INLET
	WATER METER
	WATER VALVE
	ELECTRIC PULLBOX
	ELECTRIC & GAS METER
	FIRE HYDRANT
	UTILITY BOX (GENERAL)
	TELEPHONE BOX
	MANHOLE (UNSPECIFIED)
	TELEPHONE MANHOLE
	STORM DRAIN MANHOLE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	SANITARY SEWER LATERAL
	ELECTROLIER
	STREETLIGHT
	STREET LIGHT PULL BOX
	POWER POLE
	JOINT UTILITY POLE
	SURVEY CONTROL PT
	STREET MONUMENT (SURVEY)
	WATER METER
	TREE
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	UTILITY SERVICE CAP
	TO BE ABANDONED

EXISTING CONDITIONS NOTES

- PER TITLE REPORT, NO EASEMENTS ARE LOCATED ON SITE.
- SITE IS TO BE CLEARED AND GRUBBED PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING ON SITE UTILITY LATERALS TO BE ABANDONED AFTER THE PROPERTY LINE.

ABBREVIATIONS

AC ASPHALTIC CONCRETE	VCP VITRIFIED CLAY PIPE
ACP ASBESTOS CEMENT PIPE	WB WATER BOX
BV BLOW OFF VALVE	WV WATER VALVE
CB CATCH BASIN	E = EAST
DWY DRIVEWAY	N = NORTH
EP EDGE OF PAVEMENT	S = SOUTH
HP HIGH PRESSURE	W = WEST
INV INVERT	
L LENGTH	
LG LIP OF GUTTER	
R RADIUS	
S SLOPE	
SD STORM DRAIN	
SDDI STORM DRAIN DROP INLET	
SSMH SANITARY SEWER MANHOLE	
T TREE	
TC TOP OF CURB	

GRAPHIC SCALE

**PD AMENDMENT
FOR
THE HARKER SCHOOL**

4525 Union Ave
San Jose, CA
95124



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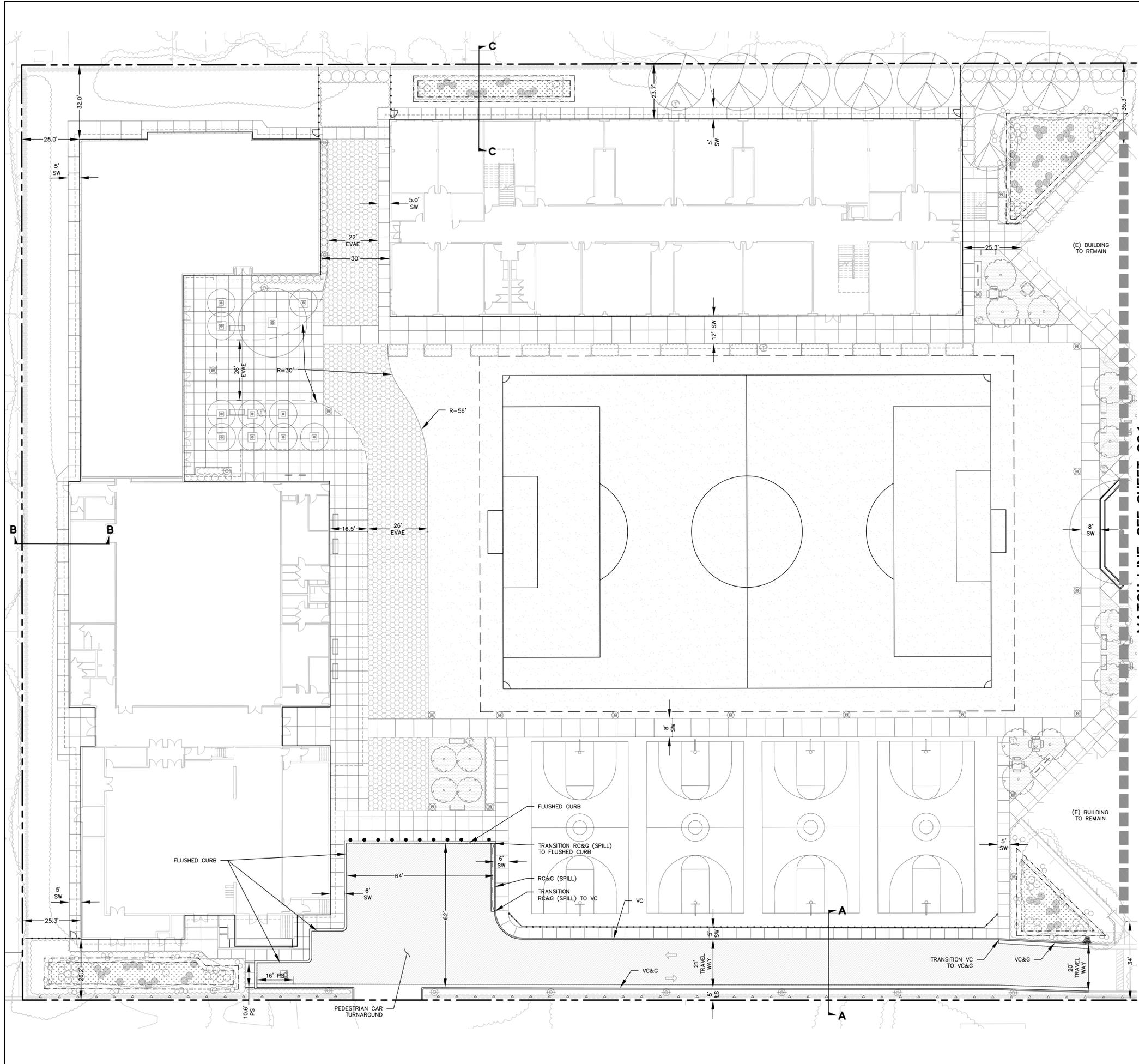
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REVISIONS

NO.	DATE	DESCRIPTION	BY

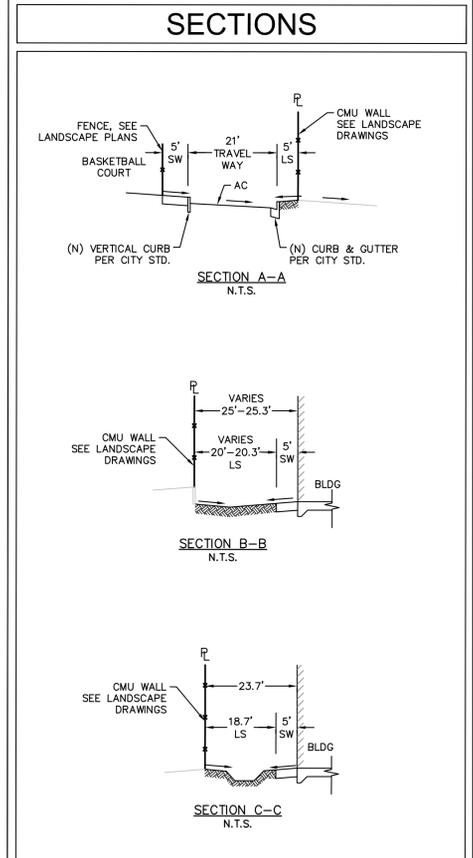
EXISTING CONDITIONS

JOB NO. 20176347	SHEET NO.
DATE: 1/23/19	C1.0
DRAWN: AC	
CHECKED: PK	
ISSUE: CONCEPTUAL	1 OF 11



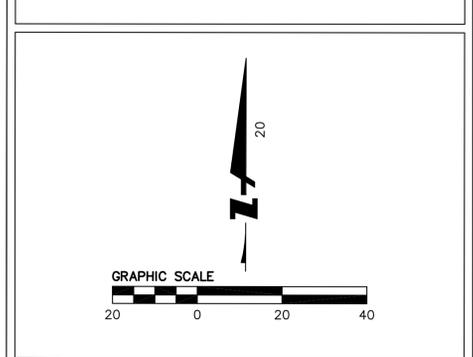
LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- VERTICAL CURB/FLUSH CURB
- VERTICAL CURB & GUTTER
- ROLLED CURB & GUTTER
- BIORETENTION BASIN
- AC PAVEMENT
- DRIVEWAY PER CSJ STD DETAIL R-6



ABBREVIATIONS

DWY	DRIVEWAY
(E)	EXISTING
EVA	EMERGENCY VEHICLE ACCESS
FC	FLUSH CURB
FOC	FACE OF CURB
LS	LANDSCAPE
(N)	NEW
N.T.S.	NOT TO SCALE
PL	PROPERTY LINE
PS	PARKING STALL
R	RADI
RC&G	ROLLED CURB AND GUTTER
STD.	STANDARD
TYP	TYPICAL
VC	VERTICAL CURB
VC&G	VERTICAL CURB AND GUTTER



**PD AMENDMENT
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THE HARKER SCHOOL**

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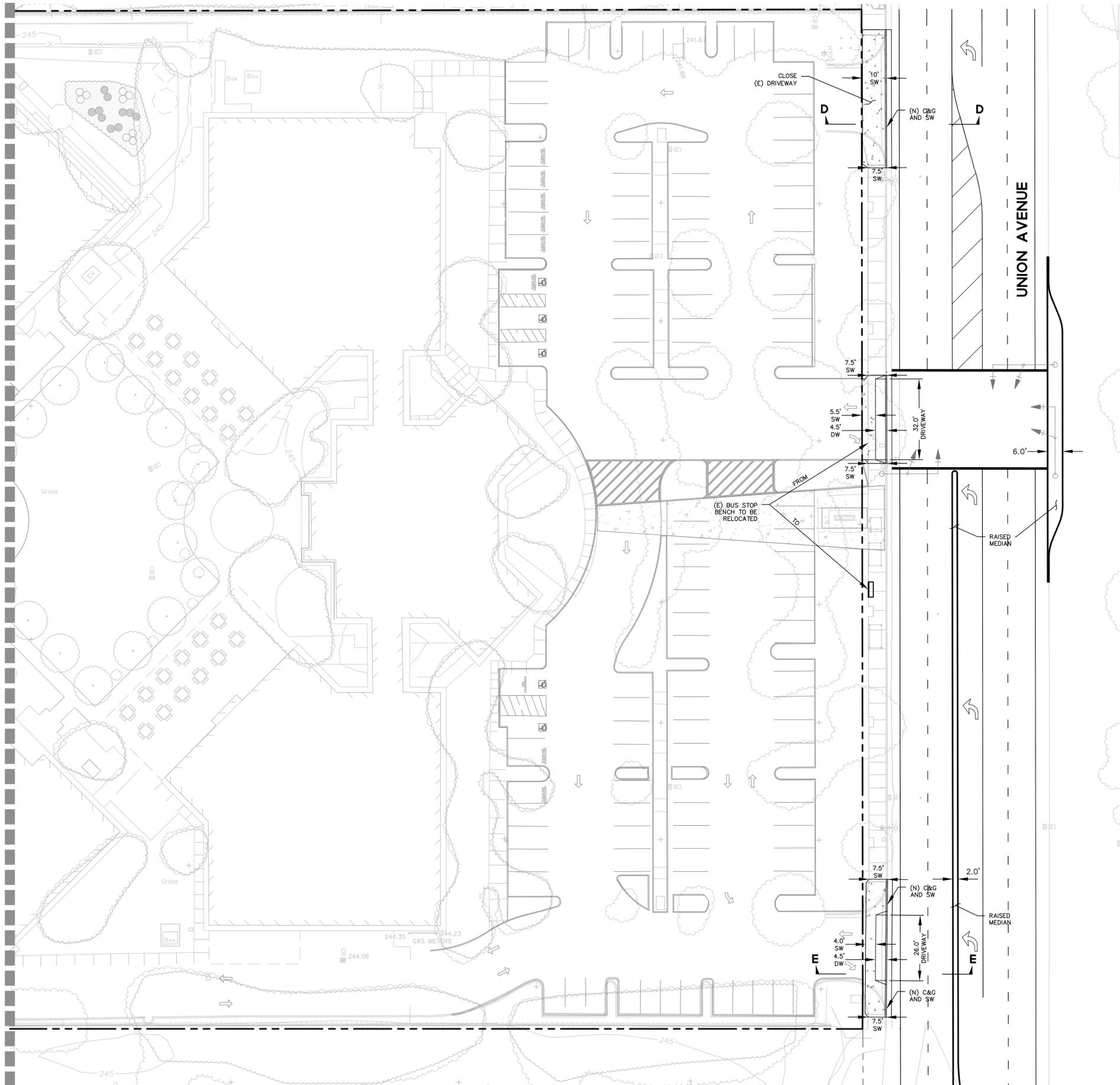
REVISIONS

NO.	DATE	DESCRIPTION	BY

**PRELIMINARY
SITE PLAN**

JOB NO. 20176347	SHEET NO.
DATE: 1/23/19	C2.0
DRAWN:AC	
CHECKED:PK	
ISSUE:CONCEPTUAL	2 OF 11

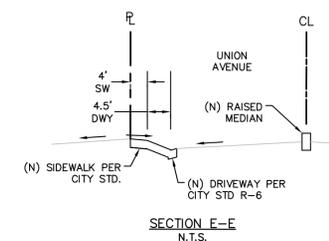
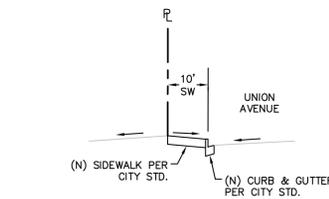
MATCH LINE, SEE SHEET C2.0



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- VERTICAL CURB/FLUSH CURB
- VERTICAL CURB & GUTTER
- ROLLED CURB & GUTTER
- BIORETENTION BASIN
- AC PAVEMENT
- DRIVEWAY PER CSJ STD DETAIL R-6

SECTIONS

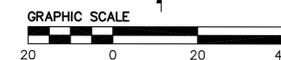


GENERAL NOTE

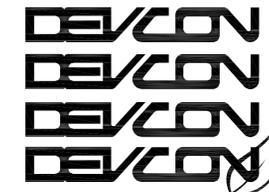
STREET TREES SHOWN IN THE PUBLIC RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE PLANNING PERMIT DOES NOT AUTHORIZE THE INSTALLATION OR REMOVAL OF TREES IN THE PUBLIC RIGHT-OF-WAY. ACTUAL STREET TREE LOCATION WILL BE DETERMINED BY PUBLIC WORKS AT THE IMPLEMENTATION STAGE ON THE PUBLIC IMPROVEMENT PLAN. THE INSTALLATION OR REMOVAL OF THE STREET TREES REQUIRES A PERMIT FROM THE DEPARTMENT OF TRANSPORTATION. THE CITY ARBORIST WILL SPECIFY THE SPECIES.

ABBREVIATIONS

- DWY DRIVEWAY
- (E) EXISTING
- EVA EMERGENCY VEHICLE ACCESS
- FC FLUSH CURB
- FOC FACE OF CURB
- LS LANDSCAPE
- (N) NEW
- N.T.S. NOT TO SCALE
- PL PROPERTY LINE
- PS PARKING STALL
- R RADII
- RC&G ROLLED CURB AND GUTTER
- STD. STANDARD
- TYP TYPICAL
- VC VERTICAL CURB
- VC&G VERTICAL CURB AND GUTTER



**PD AMENDMENT
FOR
THE HARKER SCHOOL**
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San Jose, CA
95124



CONSTRUCTION
INCORPORATED



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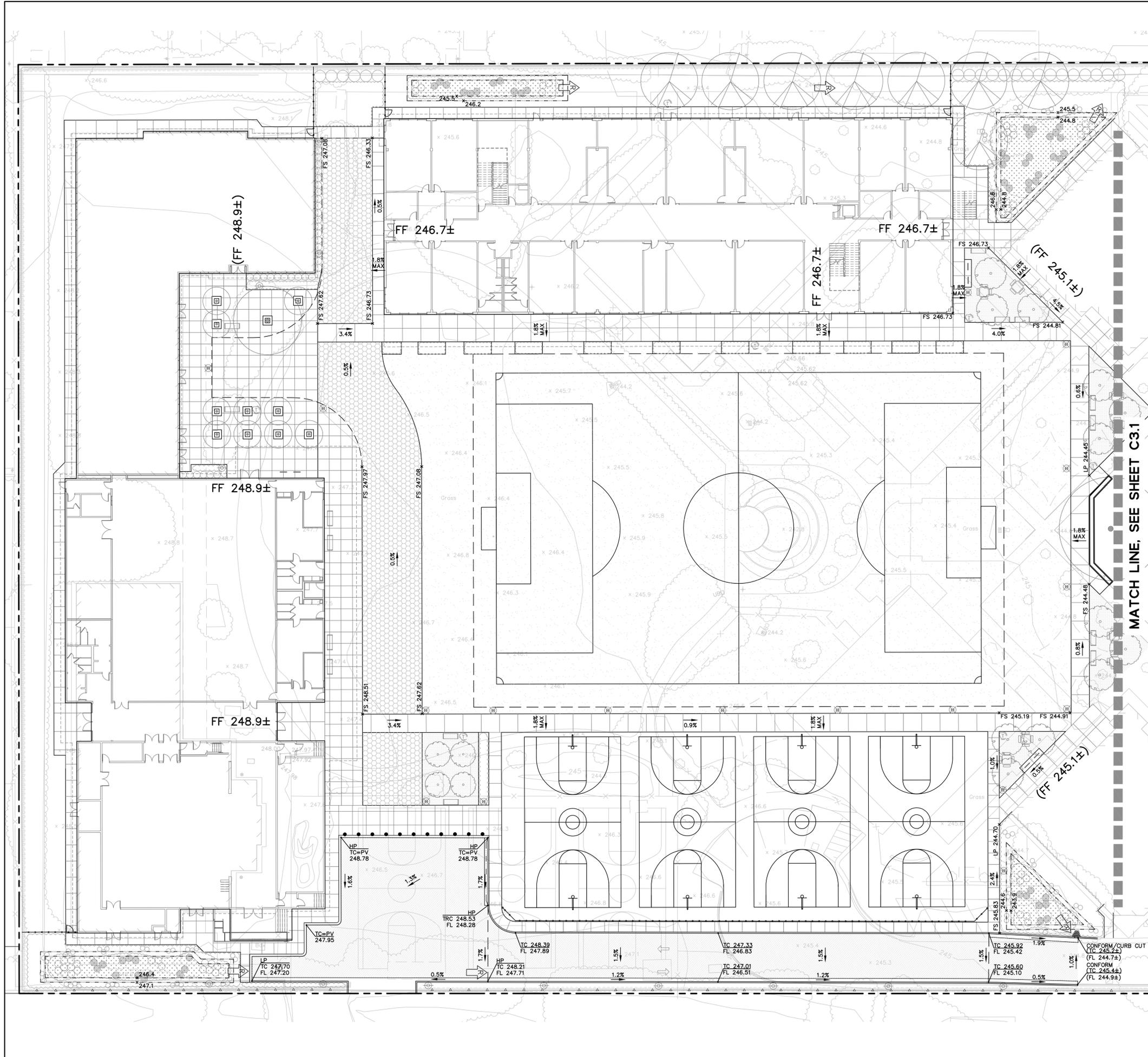
REVISIONS

NO.	DATE	DESCRIPTION	BY

**PRELIMINARY
SITE PLAN**

JOB NO. 20176347
DATE: 1/23/19
DRAWN:AC
CHECKED:PK
ISSUE:CONCEPTUAL

SHEET NO.
C2.1
3 OF 11



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- VERTICAL CURB
- VERTICAL CURB & GUTTER
- CURB CUT
- BIORETENTION BASIN
- AC PAVEMENT
- SLOPE TO DRAIN
- STORM DRAIN AREA DRAIN
- STORM DRAIN OVERFLOW DRAIN
- STORM DRAIN BUBBLER BOX
- STORM DRAIN CATCH BASIN
- STORM DRAIN MANHOLE
- STORM DRAIN CLEANOUT
- PROPOSED ELEVATION
- OVERLAND RELEASE

ABBREVIATIONS

- AD AREA DRAIN
- BB BUBBLER BOX
- BW BACK OF WALK
- B/W BOTTOM OF WALL
- CB CATCH BASIN
- CC CURB OPENING
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOWLINE
- GB GRADE BREAK
- HP HIGH POINT
- LG LIP OF GUTTER
- MH MANHOLE
- OFD OVERFLOW DRAIN
- PV PAVEMENT
- SD STORM DRAIN
- SDCO STORM DRAIN CLEAN OUT
- SDJB STORM DRAIN JUNCTION BOX
- SS SANITARY SEWER
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- SW SIDEWALK
- T TREE
- TYP TYPICAL (OF SEVERAL)
- TC TOP OF CURB

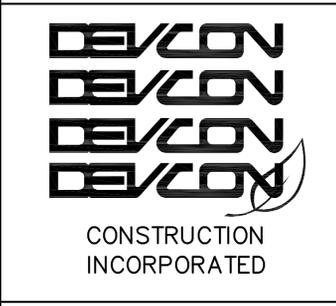
20

GRAPHIC SCALE

20 0 20 40

**PD AMENDMENT
FOR
THE HARKER SCHOOL**

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San Jose, CA
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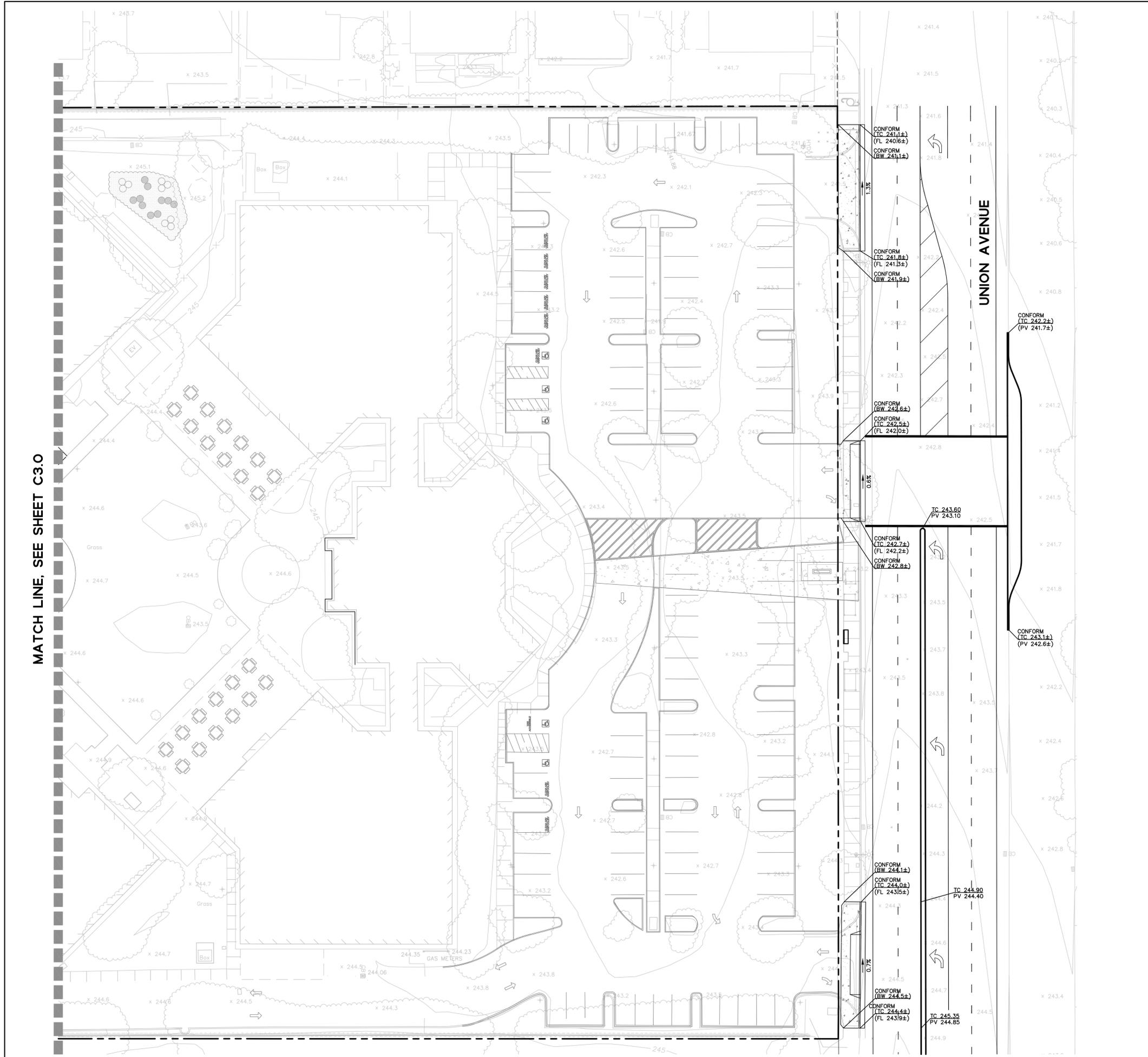
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REVISIONS

NO.	DATE	DESCRIPTION	BY

**PRELIMINARY
GRADING PLAN**

JOB NO. 20176347	SHEET NO.
DATE: 1/23/19	C3.0
DRAWN: AC	4 OF 11
CHECKED: PK	
ISSUE: CONCEPTUAL	



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- VERTICAL CURB
- VERTICAL CURB & GUTTER
- CURB CUT
- BIORETENTION BASIN
- AC PAVEMENT
- SLOPE TO DRAIN
- STORM DRAIN AREA DRAIN
- STORM DRAIN OVERFLOW DRAIN
- STORM DRAIN BUBBLER BOX
- STORM DRAIN CATCH BASIN
- STORM DRAIN MANHOLE
- STORM DRAIN CLEANOUT
- PROPOSED ELEVATION
- OVERLAND RELEASE

ABBREVIATIONS

AD	AREA DRAIN
BB	BUBBLER BOX
BW	BACK OF WALK
B/W	BOTTOM OF WALL
CB	CATCH BASIN
CC	CURB OPENING
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
GB	GRADE BREAK
HP	HIGH POINT
LG	LIP OF GUTTER
MH	MANHOLE
OFD	OVERFLOW DRAIN
PV	PAVEMENT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
SDJB	STORM DRAIN JUNCTION BOX
SS	SANITARY SEWER
TC	TOP OF CURB
TRC	TOP OF ROLLED CURB
TW	TOP OF WALL
SW	SIDEWALK
T	TREE
TYP	TYPICAL (OF SEVERAL)
TC	TOP OF CURB

GRAPHIC SCALE

**PD AMENDMENT
FOR
THE HARKER SCHOOL**

4525 Union Ave
San Jose, CA
95124



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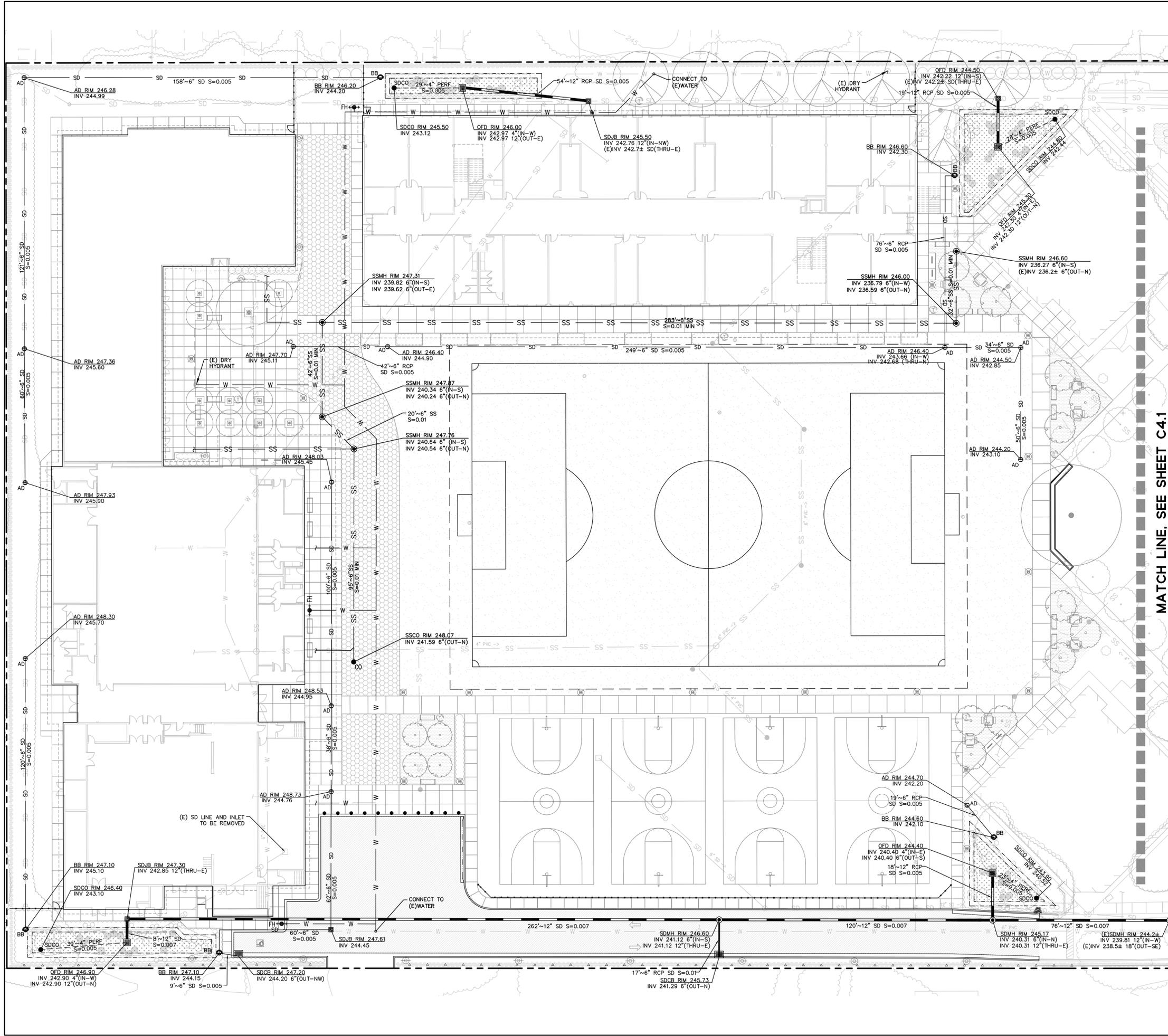
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REVISIONS

NO.	DATE	DESCRIPTION	BY

**PRELIMINARY
GRADING PLAN**

JOB NO. 20176347	SHEET NO.
DATE: 1/23/19	C3.1
DRAWN: AC	
CHECKED: PK	
ISSUE: CONCEPTUAL	5 OF 11



LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- VERTICAL CURB
- VERTICAL CURB & GUTTER
- [Pattern] BIORETENTION BASIN
- PROPOSED TREATED STORM DRAIN LINE
- - - PROPOSED PERFORATED PIPE
- PROPOSED UNTREATED STORM DRAIN PIPE
- SS PROPOSED SANITARY SEWER LINE
- W PROPOSED WATER LINE
- IRR PROPOSED IRRIGATION WATER LINE
- FW PROPOSED FIRE WATER LINE
- G PROPOSED GAS LINE
- - - JT PROPOSED JOINT TRENCH LINE
- ⊙ STORM DRAIN AREA DRAIN
- ⊙ SDMH STORM DRAIN MANHOLE
- ⊙ STORM DRAIN OVERFLOW DRAIN
- ⊙ BB STORM DRAIN BUBBLER BOX
- ⊙ CB STORM DRAIN CATCH BASIN
- ⊙ SDCO STORM DRAIN CLEANOUT
- ⊙ SSMH SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WV WATER VALVE
- ⊙ WM WATER METER
- [Symbol] BFP BACK FLOW PREVENTER
- [Symbol] RPPA REDUCE PRESSURE PRINCIPLE ASSEMBLY
- ⊙ FH FIRE HYDRANT
- ⊙ BO BLOW OFF VALVE
- ⊙ FDC FIRE DEPARTMENT CONNECTION
- ⊙ GV GAS VALVE
- ↑ TRAFFIC SIGNAL

ABBREVIATIONS

AD	AREA DRAIN
BB	BUBBLER BOX
BFP	BACK FLOW PREVENTER
BV	BLOW OFF VALVE
CB	CATCH BASIN
E	EAST
G	GAS
INV	INVERT
IRR	IRRIGATION
MH	MANHOLE
N	NORTH
MIN	MINIMUM
OFD	OVERFLOW DRAIN
PV	PAVEMENT
S	SLOPE
S	SOUTH
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
T	TREE
TYP	TYPICAL (OF SEVERAL)
W	WEST
WM	WATER METER
WV	WATER VALVE

REVISIONS

NO.	DATE	DESCRIPTION	BY

PRELIMINARY UTILITY PLAN

JOB NO. 20176347 SHEET NO. C4.0

DATE: 1/23/19

DRAWN: AC

CHECKED: PK

ISSUE: CONCEPTUAL 6 OF 11

PD AMENDMENT FOR THE HARKER SCHOOL

4525 Union Ave
San Jose, CA 95124



GENERAL NOTES:

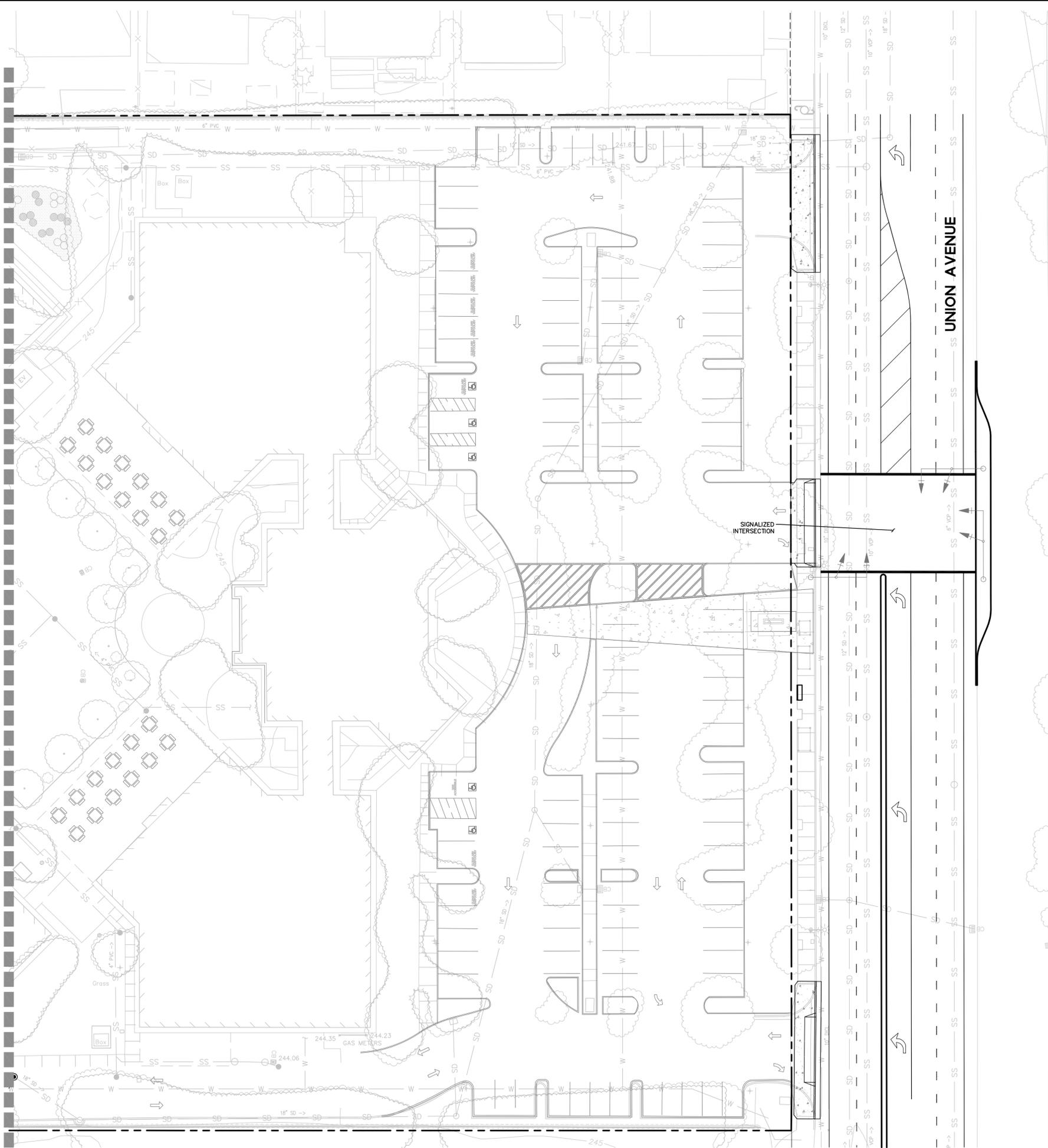
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MATCH LINE, SEE SHEET C4.0



LEGEND

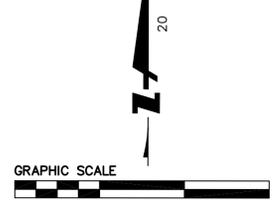
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- VERTICAL CURB
- VERTICAL CURB & GUTTER
- BIORETENTION BASIN
- PROPOSED TREATED STORM DRAIN LINE
- PROPOSED PERFORATED PIPE
- PROPOSED UNTREATED STORM DRAIN PIPE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- PROPOSED IRRIGATION WATER LINE
- PROPOSED FIRE WATER LINE
- PROPOSED GAS LINE
- PROPOSED JOINT TRENCH LINE
- STORM DRAIN AREA DRAIN
- SDMH STORM DRAIN MANHOLE
- STORM DRAIN OVERFLOW DRAIN
- BB STORM DRAIN BUBBLER BOX
- CB STORM DRAIN CATCH BASIN
- SDCO STORM DRAIN CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WV WATER VALVE
- WATER METER
- BFP BACK FLOW PREVENTER
- RPPA REDUCE PRESSURE PRINCIPLE ASSEMBLY
- FH FIRE HYDRANT
- BO BLOW OFF VALVE
- FDC FIRE DEPARTMENT CONNECTION
- GV GAS VALVE
- TRAFFIC SIGNAL

ABBREVIATIONS

- AD AREA DRAIN
- BB BUBBLER BOX
- BFP BACK FLOW PREVENTER
- BV BLOW OFF VALVE
- CB CATCH BASIN
- E EAST
- G GAS
- INV INVERT
- IRR IRRIGATION
- MH MANHOLE
- N NORTH
- MIN MINIMUM
- OFD OVERFLOW DRAIN
- PV PAVEMENT
- S SLOPE
- S SOUTH
- SD STORM DRAIN
- SDCO STORM DRAIN CLEAN OUT
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEAN OUT
- T TREE
- TYP TYPICAL (OF SEVERAL)
- W WEST
- WM WATER METER
- WV WATER VALVE

REVISIONS

NO.	DATE	DESCRIPTION	BY



PD AMENDMENT FOR THE HARKER SCHOOL

4525 Union Ave
San Jose, CA
95124

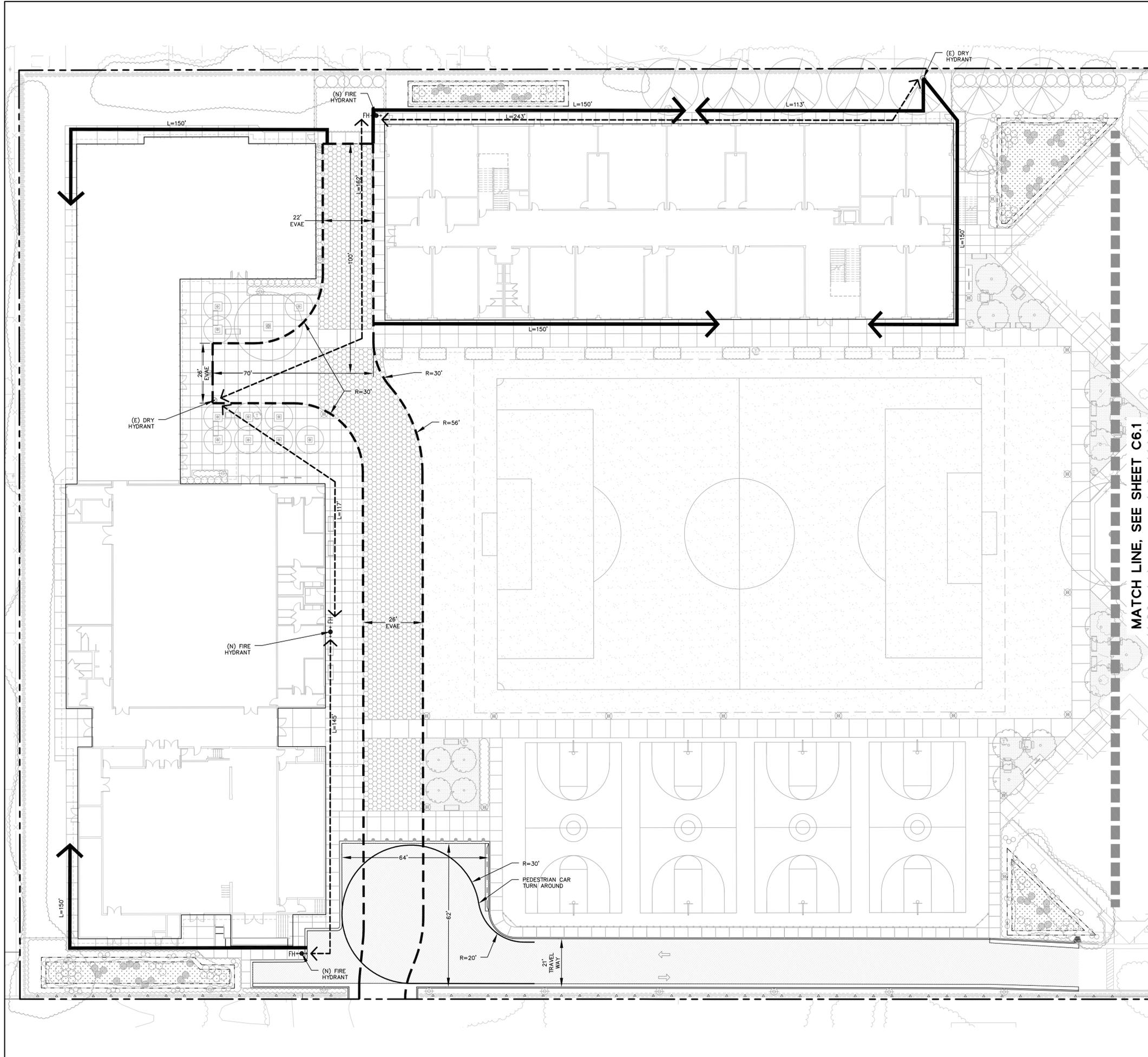


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PRELIMINARY UTILITY PLAN

JOB NO. 20176347	SHEET NO.
DATE: 1/23/19	C4.1
DRAWN:AC	
CHECKED:PK	
ISSUE:CONCEPTUAL	7 OF 11



LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - FIRE TRUCK PATH
- L=150' → FIRE HOSE REACH LENGTH
- L=400' → PATH OF TRAVEL DISTANCE FROM FIRE HYDRANT

FIRE REQUIREMENTS

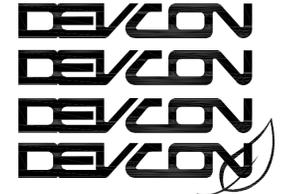
FIRE FLOW
 TOTAL BUILDING AREA: 30,663 SF (BUILDING C AND D)
 BUILDING TYPE: V-B WITH FIRE SPRINKLERS
 REQUIRED FIRE FLOW: 4,750 GPM X (50% REDUCTION DUE TO FIRE SPRINKLERS) = 2,375 GPM
 *PER APPENDIX B OF 2016 CFC

FIRE HYDRANTS
 FIRE FLOW: 4,750 GPM
 MINIMUM NUMBER OF HYDRANTS: 5
 AVERAGE SPACING BETWEEN HYDRANTS: 300'
 MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT: 180'
 *PER APPENDIX C OF 2016 CFC

MATCH LINE, SEE SHEET C61

PD AMENDMENT FOR THE HARKER SCHOOL

4525 Union Ave
 San Jose, CA
 95124

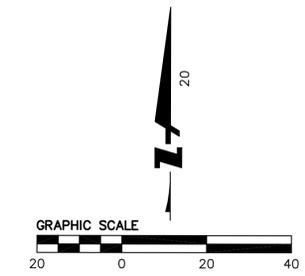


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REVISIONS

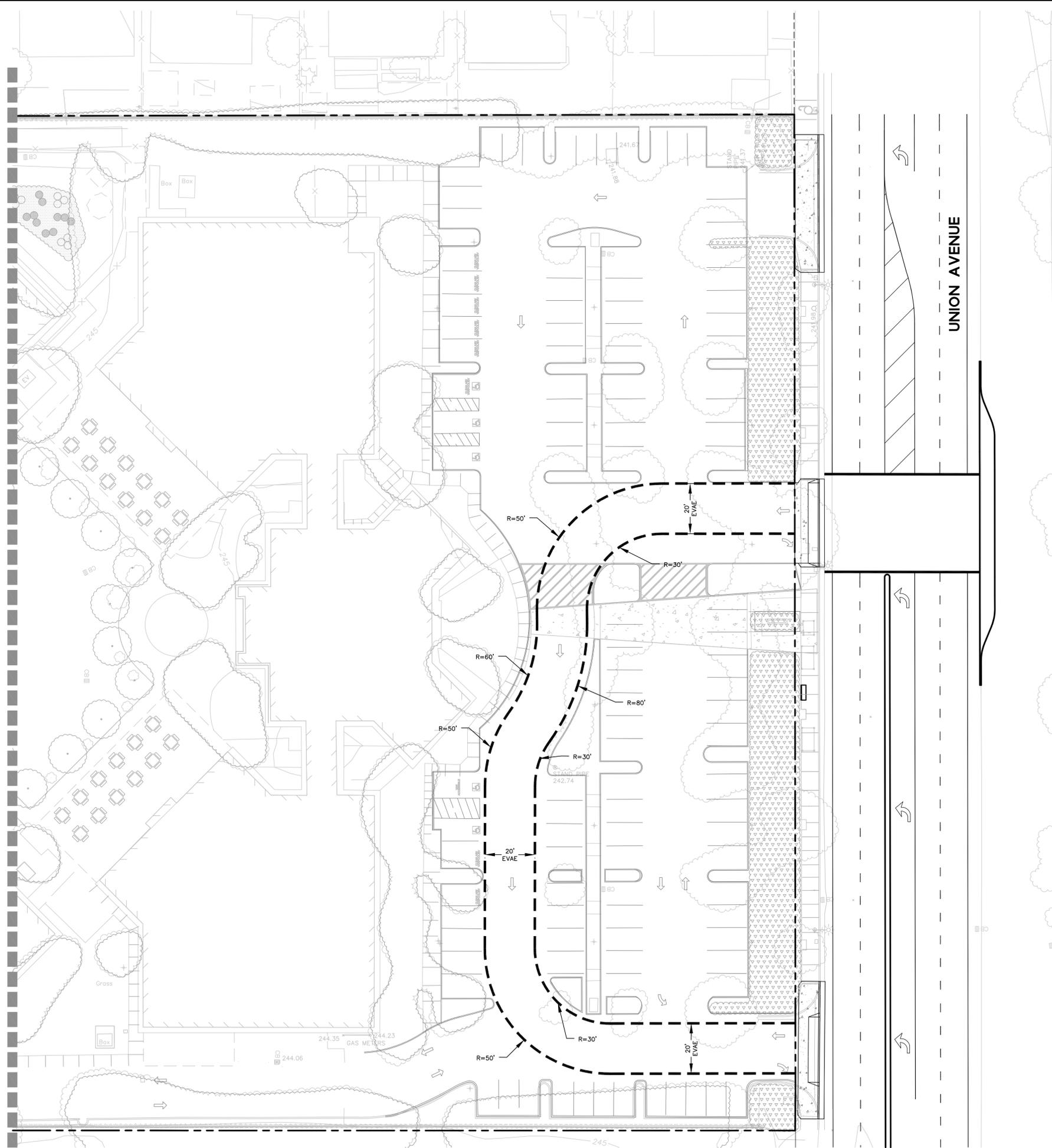
NO.	DATE	DESCRIPTION	BY



FIRE ACCESS AND HOSE REACH EXHIBIT

JOB NO. 20176347	SHEET NO.
DATE: 1/23/19	C6.0
DRAWN: AC	
CHECKED: PK	
ISSUE: CONCEPTUAL	10 OF 11

MATCH LINE, SEE SHEET C6.0



LEGEND

- PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- FIRE TRUCK PATH
- L=150' FIRE HOSE REACH LENGTH
- L=400' PATH OF TRAVEL DISTANCE FROM FIRE HYDRANT

FIRE REQUIREMENTS

FIRE FLOW

TOTAL BUILDING AREA: 30,663 SF (BUILDING C AND D)
 BUILDING TYPE: V-B WITH FIRE SPRINKLERS

REQUIRED FIRE FLOW: 4,750 GPM X (50% REDUCTION DUE TO FIRE SPRINKLERS) = 2,375 GPM

*PER APPENDIX B OF 2016 CFC

FIRE HYDRANTS

FIRE FLOW: 4,750 GPM
 MINIMUM NUMBER OF HYDRANTS: 5
 AVERAGE SPACING BETWEEN HYDRANTS: 300'
 MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT: 180'

*PER APPENDIX C OF 2016 CFC

PD AMENDMENT FOR THE HARKER SCHOOL

4525 Union Ave
 San Jose, CA
 95124



CONSTRUCTION INCORPORATED



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REVISIONS

NO.	DATE	DESCRIPTION	BY

FIRE ACCESS AND HOSE REACH EXHIBIT

JOB NO. 20176347

SHEET NO.

DATE: 1/23/19

DRAWN: AC

CHECKED: PK

ISSUE: CONCEPTUAL

C6.1

11 OF 11



CONSTRUCTION
INCORPORATED

THE GUZZARDO PARTNERSHIP INC.
Landscape Architects • Land Planners
181 Greenwich Street
San Francisco, CA 94111
T 415 433 4672
F 415 433 5003

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REVISIONS

NO.	DATE	DESCRIPTION	BY

CONCEPTUAL LANDSCAPE PLAN

JOB NO. 17-203	SHEET NO.
DATE: 01/23/2019	10.2
DRAWN: JPA	
CHECKED: JB	
ISSUE: PLANNING	

- 12 Potential Area for Learning Gardens, Veg. Gardens, Outdoor Workspace, Etc. to Discuss
- 11 Low-Maintenance, Permeable Utility Path, Typ.
- 10 Breakout Plaza, Flush with EVA/Pedestrian Promenade. Trees in Tree Grates to Accommodate Hammerhead
- 15 New Outdoor Table and Chair Sets
- 14 New Shrub/Groundcover Planting, Typ. This Symbol. Ring Planter with DG Clearance Area
- 13 Bermuda Grass Soccer Field, Sized per American Youth Soccer Organization's "U12" Regulation
- 18 Existing Lawn to Remain.
- 17 Transplanted, Existing Oak Tree
- 16 Seat Wall with Monument / Display Considerations
- 19 New Vine Planting on Perimeter of Enclosure. Mix Ficus and Parthenocissus



- 6 Stormwater Treatment Area, Typ. This Symbol
- 7 Existing Tree Canopy to Remain, Typ. This Symbol
- 8 EVA / Pedestrian Promenade. Flush with adjacent walks, plaza, and Field
- 9 Fruit Trees w/ Decomposed Granite Understory, Typ. This Symbol
- 3 Dropoff Plaza. Asphalt.
- 4 Flushed Curb and Removable Bollards / End of General Public Access, Begin Flush Conditions
- 5 (1) Permanent, Convenience Parking Space
- 1 (N) Asphalt Roadway. Conform to (E) Road Grading, Transition to be Field Located
- 2 Middle School Regulation Size Basketball / multi-use Courts (4) 6' H. Chainlink Ball Catch Fence @ South Edge

